



## CITY OF MENDOTA HEIGHTS

### PLANNING COMMISSION REGULAR MEETING AGENDA

September 25, 2025 at 7:00 PM  
Mendota Heights City Hall, 1101 Victoria Curve, Mendota Heights

**1. Call to Order**

**2. Roll Call**

**3. Approval of Minutes**

- a. Approve meeting minutes from the August 26, 2025 Planning Commission Meeting.

**4. Public Hearings**

- a. **CASE No. 2025-17 Conditional Use Permit** Application of M&M Home Contractors for a Conditional Use Permit (CUP) for residential building height for a new single-family home at 1867 Hunter Lane
- b. **Case No. 2025-18 Zoning Ordinance Amendment** Application of City of Mendota Heights for a Zoning Ordinance Amendment to complete minor clean-up updates to improve clarity and cohesiveness, add citations and remove conflicting language

**5. New and Unfinished Business**

**6. Updates/Staff Comments**

**7. Adjourn**

Auxiliary aids for persons with disabilities are available upon request at least 120 hours in advance. If a notice of less than 120 hours is received, the City of Mendota Heights will make every attempt to provide the aid. However, this may not be possible on short notice. Please contact City Hall at 651.452.1850 with requests.

**CITY OF MENDOTA HEIGHTS  
DAKOTA COUNTY, MINNESOTA**

**DRAFT PLANNING COMMISSION MINUTES  
August 26, 2025**

The regular meeting of the Mendota Heights Planning Commission was held on Tuesday, August 26, 2025, in the Council Chambers at City Hall, 1101 Victoria Curve, at 7:00 P.M.

The following Commissioners were present: Acting Chair Jason Stone, Commissioners Patrick Corbett, Cindy Johnson, Brian Udell, Jeff Nath, and Steve Goldade. Those absent: Chair Litton Field.

**Approval of Agenda**

Acting Chair Stone stated that a revised agenda has been circulated and noted that Item 4B will not be discussed tonight as the applicant has withdrawn Planning Case No. 2025-15.

The revised agenda was approved as submitted.

**Approval of July 22, 2025, Minutes**

COMMISSIONER NATH MOVED, SECONDED BY COMMISSIONER CORBETT, TO APPROVE THE MINUTES OF JULY 22, 2025.

AYES: 6

NAYS: 0

**Hearings**

**A) TABLED PLANNING CASE 2025-12  
M&M HOME CONTRACTORS, 1867 HUNTER LANE – MRCCA PERMIT**

Community Development Manager Sarah Madden explained that M&M Home Contractors is the applicant and owner's representative of the property located at 1867 Hunter Lane, and has requested a Mississippi River Corridor Critical Area (MRCCA) Permit to construct a new single-family home located at 1867 Hunter Lane. A duly noticed public hearing was opened at the July 22<sup>nd</sup> Planning Commission meeting. Two residents representing one household spoke in favor of the proposal, and one resident spoke inquiring about tree removal and any plans for additional utility work for the construction of the home. City staff have received one written comment related to this item, which was included in the staff report. During discussion of the application, the Commission expressed concerns with the available details on the proposed landscaping for the new home site and requested additional information from the applicant. The applicant was unable to attend the July 22<sup>nd</sup> meeting, but has provided updated landscaping plans and details, which were included in the packet. An updated survey was also provided, illustrating the location of existing trees on the property.

Hearing notices were published and mailed to all properties within 350 feet of the site; one written comment was received.

Community Development Manager Sarah Madden provided a planning staff report and a presentation on this planning item to the Commission (which is available for viewing through the City's website).

Staff recommended approval of this application based on the findings and with conditions.

Commissioner Johnson referenced a comment made at the last meeting related to a potential intermittent stream and asked if there was any information on that.

Community Development Manager Sarah Madden stated that there is no confirmation of the existence of the intermittent stream. She noted that this is one parcel of three owned by the same property owner, so the stream could be located on an adjacent property if it does exist.

Commissioner Johnson asked if the rate of stormwater flow had been reviewed.

Public Works Director Ryan Ruzek commented that the rates are not factored in for the single-family home construction, and a measure of abstraction is required, and noted that this request meets that requirement.

Commissioner Johnson referenced the primary conservation area on the western edge of the property and asked staff to identify that area.

Community Development Manager Sarah Madden provided additional details on the forested area of the bluff that is considered to be the existing vegetative stand on the edge of the property. She highlighted the bluff impact zone (BIZ) and confirmed that the vegetative stand is within the BIZ.

Acting Chair Stone commented that the public hearing from the last meeting was tabled and, therefore, is still open and invited comments from the public.

The applicant confirmed that he is available to answer any questions.

Commissioner Johnson thanked the applicant for updating and providing more detailed information, noting that because this is an MRCCA permit, there are more requirements.

Theresa Cosgriff, 1875 Hunter Lane, noted that she and her husband submitted a written comment to the Mayor on this topic. She noted that this lot has sat vacant for many years in rough condition. She stated that the neighborhood has been updating, and people have been reinvesting in their properties, and she believed that the new home would assist in that vision for the neighborhood. She stated that she and her husband built their home five years ago and enjoyed the flexibility of working with the Planning Commission and City Council, and asked that this applicant be provided with the same flexibility.

Seeing no one further coming forward wishing to speak, Acting Chair Stone asked for a motion to close the public hearing.

COMMISSIONER CORBETT MOVED, SECONDED BY COMMISSIONER NATH, TO CLOSE THE PUBLIC HEARING.

AYES: 6

NAYS: 0

Commissioner Johnson commented that it seems the existing bituminous drive is going to be kept and expanded. She asked for more information on the material that would be used for the expanded portion of the driveway.

Mike Fritz, applicant, commented that the decision on that material has not yet been made.

COMMISSIONER CORBETT MOVED, SECONDED BY COMMISSIONER NATH, TO RECOMMEND APPROVAL OF THE MRCCA-CRITICAL AREA PERMIT REQUEST FOR 1867 HUNTER LANE, WITH THE FOLLOWING CONDITIONS:

1. A BUILDING PERMIT, INCLUDING A GRADING PLAN, MUST BE APPROVED BY THE CITY PRIOR TO THE COMMENCEMENT OF ANY SITE WORK.
2. THE PROPOSED PROJECT MUST COMPLY WITH ALL REQUIREMENTS OF THE CITY'S LAND DISTURBANCE GUIDANCE DOCUMENT. ALL PLANS MUST BE REVIEWED AND APPROVED BY THE PUBLIC WORKS DIRECTOR.
3. ALL EROSION CONTROL REQUIREMENTS MUST BE PUT IN PLACE PRIOR TO THE COMMENCEMENT OF ANY GRADING AND SITE WORK ACTIVITIES. SUCH MEASURES MUST REMAIN IN PLACE FOR THE DURATION OF THE CONSTRUCTION ACTIVITIES UNTIL PROPER SITE RESTORATION PLANS ARE COMPLETED.
4. ALL GRADING AND CONSTRUCTION ACTIVITY MUST COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND CODES.
5. ALL WORK ON SITE WILL ONLY BE PERFORMED BETWEEN THE HOURS OF 7:00 A.M. AND 8:00 P.M. MONDAY THROUGH FRIDAY; 9:00 A.M. TO 5:00 P.M. WEEKENDS.

AYES: 6

NAYS: 0

Acting Chair Stone advised the City Council would consider this application at its September 2, 2025, meeting.

**~~B) PLANNING CASE 2025-15  
BC MIDDLETON LLC, WENTWORTH HILLS—PRELIMINARY PLAT~~**

This application was withdrawn.

**New and Unfinished Business**

## A) DORSET ROAD – STREET IMPROVEMENTS

Assistant City Engineer Lucas Ritchie stated that Dakota County, in partnership with the cities of Mendota Heights and West St. Paul, is planning to reconstruct Delaware Avenue in 2027 between Marie Avenue and Dodd Road. As part of this project, the project team has evaluated the Delaware Avenue and Dorset Road intersection. Currently, the Dorset Road approach to Delaware Avenue has a slope that exceeds the City's maximum allowable roadway grade of six percent. This condition presents long-term safety and maintenance concerns, and the County project provides a feasible opportunity to address this issue.

Commissioner Johnson asked if the proposed length of the cul-de-sac would meet the City's requirements.

Public Works Director Ryan Ruzek replied that the current length would be 640 feet and anticipated that the new Code would allow a length of more than 500 feet. He stated that the current language in the Code related to 500 feet is not enforceable. He explained that when the new language is adopted, most existing cul-de-sacs would come into conformance with the Code if less than 750 feet.

Commissioner Johnson referenced the northwest property that would be proposed to be purchased by Dakota County and asked for more information.

Assistant City Engineer Lucas Ritchie identified the property, 1211 Delaware, and noted that the property has already been acquired by Dakota County.

Commissioner Johnson asked if staff had considered making Dorset Road go through that property.

Assistant City Engineer Lucas Ritchie replied that it is not something the consultant or County has looked at, noting that he is unsure there would be sufficient space for turning movements.

Public Works Director Ryan Ruzek replied that it is still anticipated to have a single-family home on that property in the future, as the County only needs about two feet on the eastern border, along with the easement.

Commissioner Corbett asked for more information on the location of the right-of-way.

Assistant City Engineer Lucas Ritchie replied that the right-of-way shown on the map is incorrect and identified the location of the existing right-of-way as well as previously vacated right-of-way.

Commissioner Corbett asked if there has been consideration of residents' land that would be used in terms of funding.

Assistant City Engineer Lucas Ritchie replied that without going through the formal negotiations, they have not decided one way or the other. He stated that they are asking for a recommendation from the Commission to forward to the City Council, noting that staff does not favor one option over the other. He also asked the Commission to hear the input from the residents in attendance.

Commissioner Goldade asked about the differences between the two concepts other than the cul-de-sac length.

Assistant City Engineer Lucas Ritchie replied that the true differences are the lots that would be impacted. He stated that each concept would impact a total of three properties, although not the same properties.

Acting Chair Stone asked if staff had a preference on the concepts from an engineering standpoint.

Assistant Engineer Lucas Ritchie stated that, objectively, a cul-de-sac does reduce the issue of conflict and is something that has been identified as a safety concern related to the slope of the road. He stated that he does not have a preference between the two cul-de-sac concepts.

Acting Chair Stone asked if staff are aware of any accidents on this road.

Public Works Director Ryan Ruzek replied that there is no crash data recorded in this area.

Acting Chair Stone asked for the recommendation of the Public Works Director.

Public Works Director Ryan Ruzek stated that he aligns with the comments made by the Assistant Engineer. He noted that the neighbors in this area may have more input on a desired concept.

Commissioner Goldade asked and received confirmation that the referenced improved safety would be related to vehicle, bicycle, and pedestrian traffic.

Assistant City Engineer Lucas Ritchie commented that there would also be a benefit for the Public Works staff when plowing.

Commissioner Johnson inquired about the construction schedule for the trail along Delaware.

Assistant City Engineer Lucas Ritchie commented that the trail along Delaware would be part of this project, from Marie to Dodd Road.

Acting Chair Stone invited the public to provide input.

Scott Swank, ½ Dorset Road, identified mature trees that they would be losing as part of the Delaware project. He noted that option one would remove additional trees from their property, and therefore, he would oppose that and prefer option two, which more evenly takes from all properties. He noted that option one takes 75 to 80 percent of the property from his backyard. He confirmed that he supports concept two.

Commissioner Johnson noted that concept two would still seem to impact their trees.

Heidi Swank, ½ Dorset Road, commented that concept two would impact one of the two trees. She stated that they will lose all their front yard trees either way, but they see the value in the project and can replant trees. She agreed that the Dorset Road hill is problematic, and they have experienced a driver sliding down the hill into their yard. She noted that they have also watched snowplows have trouble with the hill in the winter.

Arthur Miller, 1 Dorset Road, stated that he purchased his lot in 1964 and has seen injuries on the road from children skateboarding and vehicles that cannot make it up the hill in the winter. He agreed that the cul-de-sac would be the better option for safety.

Mary and Tim Kirby, 3 Dorset Road, stated that they support this plan, and she prefers concept two. She acknowledged that they would lose some trees, but noted that the trees they would lose are not as valuable as the trees in the Swanks' yard. She stated that people have run into the tree in their yard coming down the hill, as it is a dangerous slope. Mr. Kirby also commented on the dangerous road conditions in the winter because of the slope. Mrs. Kirby stated that she does have questions about drainage and would like to see a vegetative garden to absorb some of the drainage. Mr. Kirby commented that this change would move some of the cut-through traffic to cut through Mears and, therefore, would encourage some type of traffic calming on Mears as well.

Mike Kuenster, 9 Mears Avenue, stated that regardless of whether concept one or two is chosen, he would like to comment on his experience living on the corner of Mears and Dodd. He commented that this is the third time he has been at City Hall to speak on this. He asked if electronic stop signs are used in the city.

Public Works Director Ryan Ruzek replied that the City currently does not have enhanced stop signs. He stated that there are some speed radar feedback signs, which are limited to collector streets and striped roadways. He commented that the signage was recently replaced at that intersection. He commented that his neighbors have young children, and he has safety concerns. He stated that traffic that would have normally turned onto Dorset to go to Mears would naturally have slowed speeds during that turning movement, but now will turn directly onto Mears.

Acting Chair Stone asked if there were thoughts to install speed bumps on Mears.

Public Works Director Ryan Ruzek replied that staff would never recommend speed bumps, noting that he is not aware of any communities in Dakota County that use speed bumps. He commented on the conflicts that would be created for snowplowing. He stated that other improvements could be considered for traffic calming. He acknowledged that there is cut-through traffic, and the stop signs in that area have been installed as a method to slow traffic.

Mr. Kuenster noted that Lilydale senior community has speed bumps, and it was confirmed that it is a private roadway that is privately maintained. He asked his neighborhood to be the test for electronic stop signs.

Commissioner Goldade commented that the issue of traffic control seems to be outside the purview of the Commission.

Commissioner Nath noted that other traffic calming measures could be considered, other than a speed bump.

Public Works Director Ryan Ruzek stated that the first step would be to collect data, acknowledging that for someone standing in their yard, it would seem fast for a vehicle to pass by at the speed limit of 30 miles per hour.

Commissioner Goldade stated that in the staff presentation, it was mentioned that two people opposed the project, but they did not speak tonight. He asked if proper notice was provided.

Assistant City Engineer Lucas Ritchie commented that the notice area for this project was actually expanded, and every resident who provided feedback was also sent notification of the meeting.

Commissioner Johnson recognized that the Swanks prefer concept two, which shows an extension of their driveway that could impact their trees. She stated that from her perspective, in either concept, they would lose their trees. She asked if the Swanks would still prefer concept two.

Mrs. Swank commented that they may still lose the trees. She acknowledged that their lot is not very private, but concept one would take more of their land, and therefore, they would still prefer concept two. She stated that they could perhaps rethink the driveway to save the tree.

Assistant City Engineer Lucas Ritchie commented that the concepts are conceptual, and it is possible that the driveway width and trail alignment could be tweaked to save trees. He noted that it is also possible that additional trees could be added within the right-of-way.

Acting Chair Stone commented that there is a steep hill and all the residents on that street who spoke prefer concept two, and therefore, he will also support that concept. He suggested that the City also complete a study related to the traffic that will be pushed over to Mears and the traffic calming that could be added.

Commissioner Johnson agreed that concept two would seem to have the least impact, as it spreads the impact among the neighbors.

COMMISSIONER CORBETT MOVED, SECONDED BY COMMISSIONER JOHNSON, TO RECOMMEND THAT STAFF PROCEED WITH THE REMOVAL OF THE DORSET ROAD CONNECTION TO DELAWARE AVENUE AND CONSTRUCTION OF THE CUL-DE-SAC AS SHOWN IN CONCEPT TWO.

AYES: 6  
NAYS: 0

### *Staff Announcements / Updates*

Community Development Manager Sarah Madden noted the next scheduled meeting date of September 25<sup>th</sup>. She provided an update on recent actions of the City Council related to cases recommended by the Planning Commission.

**Adjournment**

COMMISSIONER NATH MOVED, SECONDED BY COMMISSIONER CORBETT, TO ADJOURN THE MEETING AT 8:19 P.M.

AYES: 6

NAYS: 0



**Meeting Date:** September 25, 2025

**Agenda Item:** **CASE No. 2025-17 Conditional Use Permit** Application of M&M Home Contractors for a Conditional Use Permit (CUP) for residential building height for a new single-family home at 1867 Hunter Lane

<b>Department:</b>	Community Development	<b>Contact:</b>	Sarah Madden, Community Development Manager
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### **Introduction:**

M&M Home Contractors is the Applicant and Owners' Representative of the property located at 1867 Hunter Lane, and has requested a Conditional Use Permit (CUP) to allow for a residential building height of 22-ft 11.75-in for the construction of a new single-family home located at 1867 Hunter Lane.

A public hearing notice for this item was published in the Pioneer Press and notice letters were mailed to all surrounding properties within 350-feet of the subject property. No public comments were received as of the submittal of this report.

### **Background:**

The applicant is requesting a Conditional Use Permit (CUP) to allow a new single-family home to exceed the calculated average building height required for infill development in the R-1 Low Density Residential zoning district.

The subject property is located on the west side of Hunter Lane and generally southeast of Sibley Memorial Highway and adjacent wooded vacant lots. The subject property is part of the Colliton Place subdivision, originally platted in 1946. The existing lot is vacant, but previously was developed with a single-family home which was demolished in 2023. The proposed project is to construct a new 8,907 sq-ft home on the property. The home is proposed to be located in the general center of the lot, which is consistent with neighboring existing homes and the prior constructed home.

While the R-1 district permits a maximum building height of 25 feet, infill development is subject to additional height restrictions per Section 12-4A-7 (listed below), which limits building height to the average height of the principal structures on the immediately adjacent lots. The calculated average height for this property is approximately 19 feet (based on an estimated 13 feet to the north and 25 feet to the south). The applicant is proposing a height of 21 feet, 11.75 inches, requiring a CUP to exceed the calculated average height.

#### **"12-4A-7: STRUCTURE HEIGHT STANDARDS:**

*C. Height Standards for Infill Development in R-1 Zoning District. The following height standards are established for any infill lot in the R-1 Zoning District:*

- 1. The permitted maximum height shall be determined by taking the average of the*

*two adjacent principal residential structures, but in no case shall the maximum be set lower than 15-feet.*

*2. To exceed the maximum height established in C.1, a Conditional Use Permit must be obtained. In no case shall the permitted height exceed 25-feet unless a Variance is also obtained."*

The applicant has revised the roof design to comply with the maximum 9:12 primary roof pitch now required by City Code. The primary roof structure, as illustrated on the provided plans A4: Right Elevation, contains roof pitches of 9:12 and 4:12. Ornamental roof elements exceeding a 9:12 pitch are located on the street-facing facade, with a 12:14 roof over the garage doors. This roof structure is secondary within the design, and the peak of this roof feature does not exceed the height of the primary roof structure at 9:12 pitch. There are also additional ornamental roof features over dormers with a 12:14 pitch. These features are subordinate to the primary roof and are consistent with previous staff interpretations allowing such architectural elements when they do not affect the height calculation of the primary structure. The City will be considering clarifying language to maximum roof pitch in the future to make it clear to applicants that the intent of the maximum roof pitch standard is to regulate overall residential structure height.

#### **Analysis:**

Pursuant to Title 12-5B-5, the city recognizes that the development and execution of Zoning Code is based upon the division of the city into districts within which regulations are specified. It is further recognized that there are special or conditional uses which, because of their unique characteristics, cannot be properly classified in any district or districts without consideration, in each case, of the impact of those uses on neighboring land or the public need for the particular location.

To provide for these needs, the city may approve a conditional use for those uses and purposes, and may impose conditions and safeguards in such permits to ensure that the purpose and intent of this chapter is effectively carried out.

The City may grant a conditional use provided the proposed use demonstrates the following:

- a. Use will not be detrimental to the health, safety or general welfare of the community,*
- b. Use will not cause serious traffic congestion nor hazards,*
- c. Use will not seriously depreciate surrounding property value, and*
- d. Use is in harmony with the general purpose and intent of this chapter and the comprehensive plan.*

#### **A-C) The proposed use will not be detrimental to the health, safety or general welfare of the community; will not cause serious traffic congestion or hazards; nor depreciate surrounding property value.**

##### Staff Response:

The proposed building height remains below the R-1 district's maximum permitted height of 25 feet and meets all applicable zoning, building, and MRCCA standards. No adverse impacts to health, safety, or welfare have been identified. The proposed height increase does not alter the single-family residential use or generate additional traffic. Access and on-site parking remain consistent with code requirements. The proposed structure is compatible in scale and character with surrounding development. One adjacent home is 25 feet tall, and the proposed height (21 feet, 11.75 inches) is within that context. The home is also proposed to be setback 14.7-ft from the north side property line and 14.1-ft from the

south side property line, which exceeds the minimum 10-ft setback for single-family development in R-1. Staff finds no evidence that the height request as proposed in this CUP application would negatively impact property values.

**D) The use is in harmony with the general purpose and intent of this chapter and the Comprehensive Plan.**

Staff Response:

The project supports the Comprehensive Plan's goals for neighborhood reinvestment and compatibility in infill development. The applicant has revised the design to conform with roof pitch standards, and the proposed height is modest, reasonable, and consistent with the intent of the zoning ordinance.

**Alternatives:**

1. Approve the CUP request for 1867 Hunter Lane, which would allow for the construction of a new single-family home based on the findings-of-fact that the proposed project is compliant with the purpose and intent of the zoning ordinance and Comprehensive Plan, with certain conditions; or
2. Deny the CUP request for 1867 Hunter Lane, based on the revised or amended findings-of-fact that the application does not meet certain policies and standards of City Code as determined by the Planning Commission; or
3. Table the request and request additional information from staff and/or the applicant; Staff will extend the review period an additional 60 days, in compliance with Minnesota State Statute 15.99.

**Staff Recommendation:**

Staff recommends that the Planning Commission recommend approval of the requested Conditional Use Permit (CUP) by M&M Home Contractors for the property at 1867 Hunter Lane, with the following conditions:

1. A building permit must be approved and issued by the City prior to the commencement of any work. All applicable zoning, building, and MRCCA requirements shall be met prior to issuance of a building permit.
2. The building height shall not exceed 21 feet, 11.75 inches, as measured per definition of Building height in City Code.
3. The building shall be constructed in substantial conformance with the plans submitted and dated 9/5/2025.
4. Street-facing ornamental roof elements exceeding a 9:12 pitch shall be permitted as subordinate features, provided they do not contribute to the overall building height measurement.

**Attachments:**

1. Findings of Fact for Approval
2. Site Location Map
3. Certificate of Survey and Site Plan
4. 1867 Hunter Lane Architectural Construction Plans (9/5/25)

## **FINDINGS-OF-FACT FOR APPROVAL**

### **Conditional Use Permit (CUP) for 1867 Hunter Lane**

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The following Findings of Fact are made in support of approval of the proposed requests:

1. The proposed construction of a new single family home is consistent with the 2040 Comprehensive Plan and the Zoning Ordinance for property within the R-1 Low Density Residential Zoning District.
2. The proposed project will not be detrimental to the health, safety or general welfare of the community; should not cause any serious traffic congestion nor hazards; will not seriously depreciate surrounding property value; and said use appears to be in harmony with the general purpose and intent of the City Code and the Comprehensive Plan.
3. The construction of the home as shown in the provided plans represents reinvestment in a residential neighborhood that is consistent with the Comprehensive Plan's goals for residential land uses; and is consistent with current single-family development pattern of the neighborhood.

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## Site Location/Aerial Map 1867 Hunter Lane

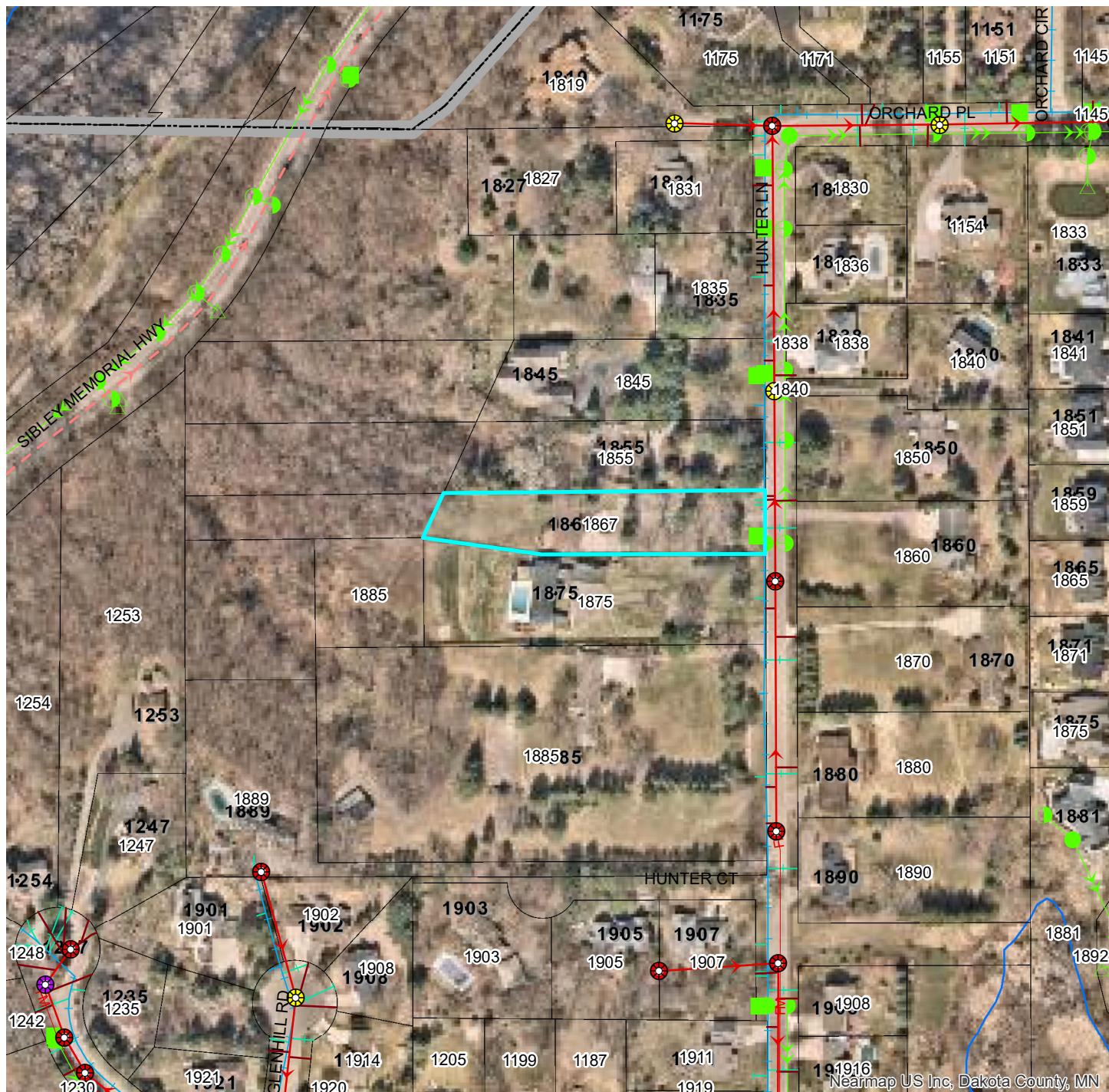


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# City of Mendota Heights

Date: 7/18/2025



GIS Map Disclaimer:

**GIS Map Disclaimer:**  
This data is for informational purposes only and should not be substituted for a true title search, property appraisal, plat, survey, or for zoning verification. The City of Mendota Heights assumes no legal responsibility for the information contained in this data. The City of Mendota Heights, or any other entity from which data was obtained, assumes no liability for any errors or omissions herein. If discrepancies are found, please contact the City of Mendota Heights.

Contact "Gopher State One Call" at 651-454-0002 for utility locations, 48 hours prior to any excavation.

# **CERTIFICATE OF SURVEY** for: M&M HOME CONTRACTORS

4a3.

## PROPERTY INFORMATION

Property Address:  
1867 Hunter Ln.  
Mendota Heights, MN

Parcel A = 0.92 acres  
Parcel B = 0.50 acres  
Parcel C = 0.83 acres

Total Property Area = 2.25 acres

### PROPERTY DESCRIPTION

NOTE: The property consists of 3 separate parcels as described below:

### Parcel A

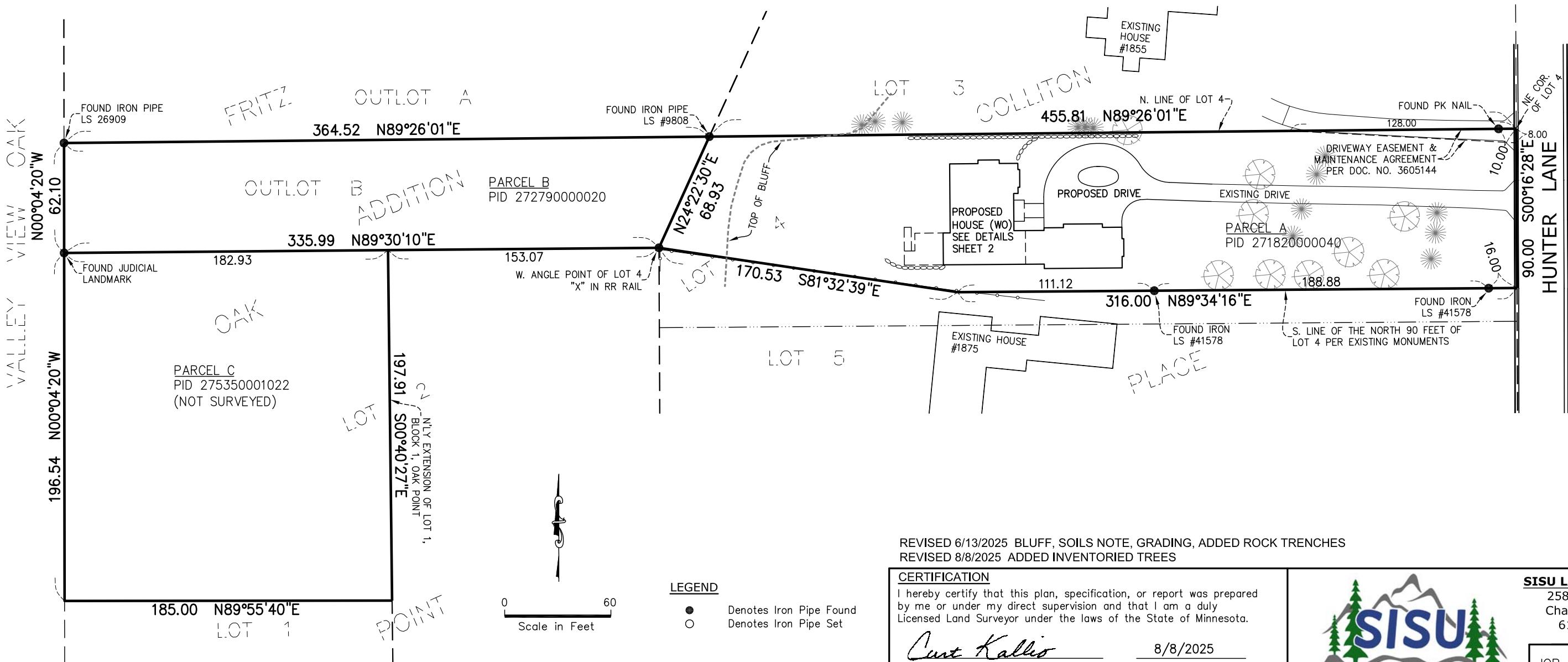
The North 90 feet of Lot 4 in Colliton Place, (Dakota County, Minnesota) except: Commencing on the South line of the tract above described at a point 316 feet West of the E'ly line thereof which is the point of beginning of the description of the tract to be excepted from the above conveyance; thence running W'ly along said South line of said tract to the W'ly line of said Lot 4; thence running N'ly along the W'ly line of said Lot 4 a distance of 26.55 feet to a point; thence running in a SE'ly direction to the point of beginning, together with all hereditaments and appurtenances belonging thereto.

### Parcel B

Outlot B, FRITZ ADDITION, Dakota County, Minnesota.

Parcel C (Not surveyed)

That part of Lot 2, Block 1, OAK POINT, Dakota County, Minnesota, lying westerly of the northerly extension of Lot 1, Block 1. (Online tax statement version)



REVISED 6/13/2025 BLUFF, SOILS NOTE, GRADING, ADDED ROCK TRENCHES  
REVISED 8/8/2025 ADDED INVENTORIED TREES

## CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Curt Kallio  
Curtiss Kallio, Lic. No. 26909

8/8/2025

---

Date



**SISU LAND SURVEYING**  
2580 Christian Dr.  
Chaska, MN 55318  
612-418-6828

JOB NO.: 202506

# SITE PLAN/EROSION & SEDIMENT CONTROL PLAN

## PROPERTY INFORMATION

Property Address:  
1867 Hunter Ln.  
Mendota Heights, MN

## PROPOSED ELEVATIONS

Garage Floor at drive	= 942.7
Top of Foundation	= 943.0
Lowest Floor Elev. Main	= 933.3
Lowest Floor Elev. Bowling Alley	= 932.3

## BENCHMARK

Top of Iron Pipe as shown.  
Elev. 830.91

## EXISTING SOILS

Existing soils within the proposed improvement areas are mapped as Hubbard loamy sand (hydrologic soil group A) in the rear of the house and Wadena loam (hydrologic soil group B) in the front yard. No site specific soil borings have been performed. There are no visible erosion issues within the proposed improvement area.

## SOIL LOSS

Per the Universal Loss Loss Equation, the soil loss during construction is estimated at 120 lbs and the post construction soil loss is estimated at 2 lb/year.

## FOREST ALTERATION

Trees as shown have been inventoried by Midwest Wetland Improvements. See Midwest Wetland Improvement plans for details. No trees are proposed to be removed for home construction.

## MRCCA (CRITICAL AREA) PERMIT LAND ALTERATION

No work is proposed in riparian areas and no work is proposed in the bluff or bluff impact zone. Therefore, the permit is not applicable.

## MRCCA (CRITICAL AREA) PERMIT VEGETATION CLEARING

No vegetation clearing is proposed. Therefore, the permit is not applicable.

## MRCCA (CRITICAL AREA) PERMIT SITE PLAN

Applicable permit checklist items are shown. Not applicable items include the following: No parking facilities will be constructed, No areas dedicated for public use, No access for public views

Items not shown that may be provided by others include:  
Landscape plan, Description of flora and fauna, Soils report for suitability

NOTE (1): FRONT YARD RUNOFF MUST DRAIN TOWARDS ROCK INFILTRATION TRENCH AS SHOWN. FRONT YARD RUNOFF NOT DRAINING TO ROCK INFILTRATION TRENCH MUST DRAIN TOWARDS THE STREET.

## AREAS & IMPERVIOUS

(See volume reduction calculations on Sheet 3)

Lot Area = 40,210 sq. ft.

Existing Impervious Areas  
House and garage = 2115 sq. ft.  
Driveway = 5506 sq. ft.  
Walk = 71 sq. ft.

Total Existing Impervious  
= 7692 sq. ft. = 19.1%

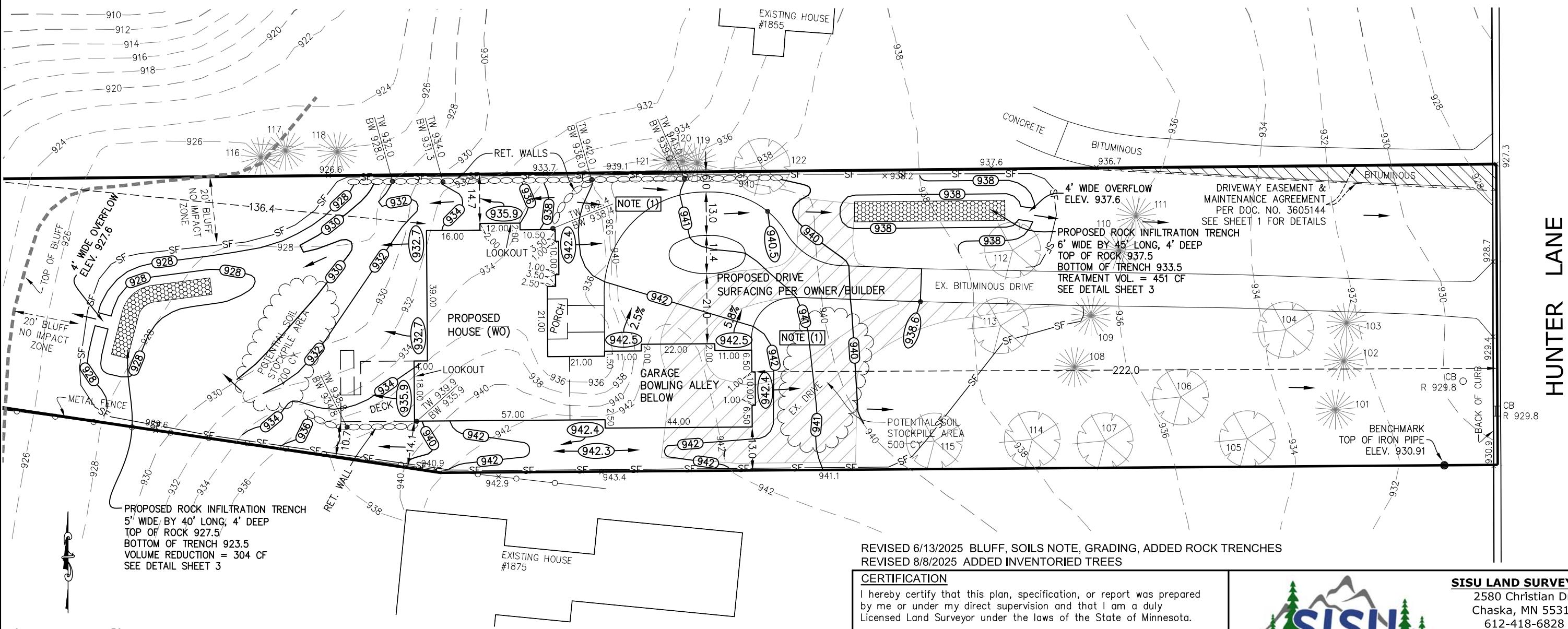
## Proposed Impervious Areas

House = 2324 sq. ft.  
Garage = 1266 sq. ft.  
Porch = 72 sq. ft.  
Driveway = 4157 sq. ft.  
Walk = 88 sq. ft.

Future rear patio/pool = 2000 sq. ft.  
Total Proposed Impervious  
= 9907 sq. ft. = 24.6%

## LEGEND

- Denotes Surface Drainage
- Denotes Offset Hub or Spike
- Denotes Drain. and Utility Ease.
- (XXX.X) Denotes Proposed Elevation
- XXX.X Denotes Existing Elevation
- 900— Denotes Existing Contour
- 864— Denotes Proposed Contour
- MS — Denotes Silt Fence, Type Machine Sliced
- ▨ Denotes existing driveway removal area
- ▨ Denotes driveway easement area



# VOLUME REDUCTION CALCULATIONS & DETAILS

## FRONT YARD VOLUME REDUCTION

Front Impervious Area  
House & garage = 2110 sq. ft.  
Drive = 2375 sq. ft.  
Front porch = 72 sq. ft.  
Sidewalk = 88 sq. ft.  
Total Front Impervious = 4645 sq. ft.  
Volume Reduction Req'd = 426 cu. ft.  
Volume Reduction provided = 432 cu. ft.

## Trench Design

1.5" washed rock, 40% voids  
Design width = 6 feet  
Design Depth = 4 feet  
Design Length = 45 feet

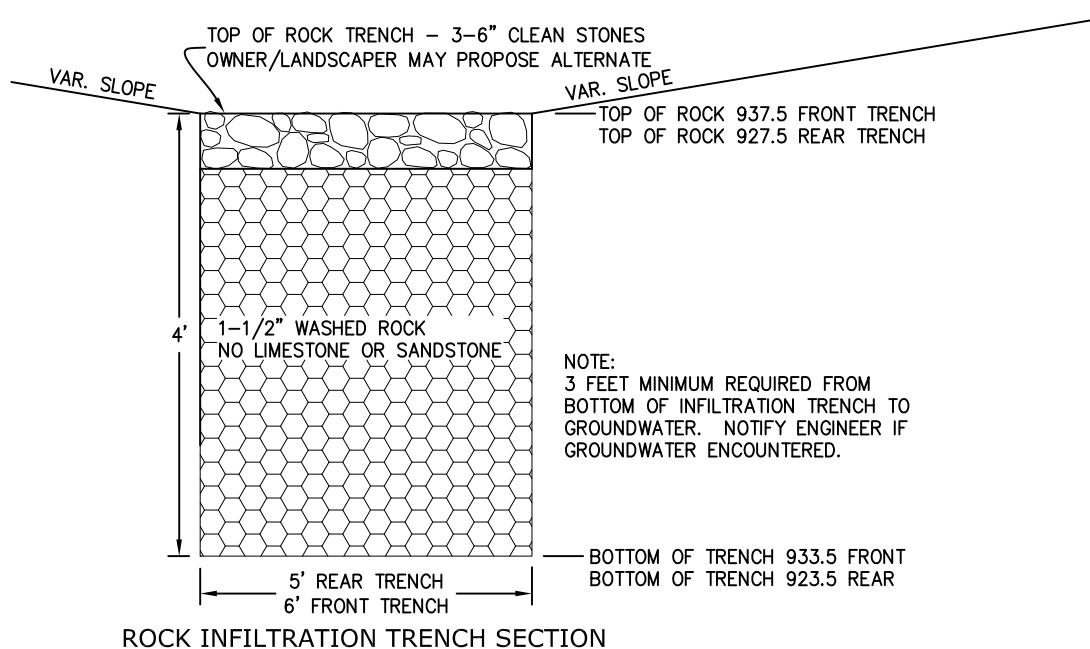
NOTE: 1782 sq. ft. of existing driveway is not impacted and not included in volume reduction calculations.

## REAR YARD VOLUME REDUCTION

Rear Impervious Area  
House = 1480 sq. ft.  
Future pool/patio = 2000 sq. ft.  
Total Rear Impervious = 3480  
Volume Reduction Req'd = 319 cu. ft.  
Volume Reduction provided = 320 cu. ft.

## Trench Design

1.5" washed rock, 40% voids  
Design width = 5 feet  
Design Depth = 4 feet  
Design Length = 40 feet



## CERTIFICATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

*Curt Kallio*

6/13/2025

Curtiss Kallio, Lic. No. 26909

Date

## SISU LAND SURVEYING

2580 Christian Dr.  
Chaska, MN 55318  
612-418-6828



JOB NO.: 202506

# 1867 HUNTER LANE

## PLAN INFORMATION:

### FRAMING NOTES:

1. ALL EXTERIOR WALLS TO BE 16" O.C. WITH A DOUBLE TOP PLATE UNLESS OTHERWISE NOTED.
2. WALL FRAMING SHALL BE S.P.F. STUD GRADE OR BETTER UNLESS NOTED OTHERWISE (U.N.O.)
3. ALL HEADERS SHALL BE PER PLAN
4. ALL EXTERIOR HEADERS SHALL HAVE (1)2X6 BEARING STUD & (1)2X6 FULL HEIGHT KING STUD ON EACH SIDE U.N.O. (REVIEW PLANS)
5. ALL INTERNAL HEADERS & BEAMS SHALL HAVE (1)2X6 OR (1)2X4 BEARING STUD ON EACH SIDE U.N.O.
6. EXTERIOR SHEATHING SHALL BE 7/16" MATERIAL CONSISTING OF ORIENTED STRAND BOARD (OSB).-ALL FLOOR AND CEILING SYSTEMS TO BE CHECKED AND DESIGNED BY THE DESIGNATED MANUFACTURER. FLOOR PLANS TO BE ON SITE.
7. HEADER SIZES ARE TO BE USED PER PLAN AND DEVIATION FROM ANY SIZE MUST BE APPROVED BY DESIGNERS.
8. PRESSURE TREATED WOOD IS TO BE USED WHERE WOOD IS IN CONTACT WITH CONCRETE AND AT 2X6 MUD SILL. TREATED MEMBERS TO BE S.Y.P.#2 OR BETTER.

9. FOR OPENINGS IN EXTERIOR WALLS (OR WALLS W/ LATERAL LOADING):
 

a. 0'-0" - 4'-0"	=	1 JACK STUD
b. 4'-0" - 8'-0"	=	2 JACK STUDS
c. 8'-0" - 12'-0"	=	3 JACK STUDS
d. GREATER THAN 12'	=	CONSULT ENG.

10. POSTS CALLED OUT ARE NUMBER OF TRIMMER/JACK STUDS REQUIRED PER SIDE OF OPENING.

### CONCRETE NOTES:

1. ALL CONCRETE FOOTINGS AND FOUNDATION SYSTEMS ARE DESIGNED FOR A 2000 P.S.F. SOIL.
2. FOUNDATION WALLS SHALL BE FULL HEIGHT AT UNBALANCED FILL GREATER THAN 3'4".
3. 1/2" ANCHOR BOLTS EMBEDDED 7" MINIMUM @ 6" O.C. MAX. 12" MIN. FROM EACH END. MINIMUM OF 2 BOLTS IN EACH SILL PLATE (REFER TO STRUCTURAL PAGES).
4. PAD FOOTING REINFORCEMENT IS TO BE LOCATED (3") FROM BOTTOM OF FOOTING TYP. (WHEN REQUIRED)
5. REFER TO STRUCTURAL PAGES FOR ADDITIONAL INFORMATION REGARDING RE-BAR/ETC.
6. MIN. 5000 PSI CONCRETE @ ALL FOOTINGS

### INSULATION:

1. ALL EXTERIOR WALLS TO HAVE A MINIMUM RATING OF R-20.
2. ALL ATTIC SPACES ARE TO HAVE A MINIMUM RATING OF R-49.
3. ALL FLOOR SPACES OVER UNCONDITIONED SPACE OR CANTILEVERED ARE TO BE INSULATED TO MIN. R30.

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### REVISION:

REVISED PER BUILDER/ADDED SPORT COURT  
BOWLING ALLEY DETAILS UPDATED  
LOOKOUT FOUNDATION WALLS UPDATED  
STRUCTURE UPDATED PER ENGINEER'S REDLINES  
GIRDERS & ROOF PITCH UPDATED PER TRUSS PLANS  
ROOF PITCH CHANGED & FLOOR PLANS ADJUSTED

SQUARE FOOTAGE CALCULATIONS	
<b>BASEMENT:</b>	
FINISHED SQ. FTG.	3220 SQ.FT
UNFINISHED SQ. FTG.	171 SQ.FT.
OVERALL BASEMENT SQ. FTG.	
	3391 SQ.FT.
<b>FIRST FLOOR:</b>	
FINISHED SQ. FTG.	2324 SQ.FT.
GARAGE SQ. FTG.	1266 SQ.FT.
OVERALL FIRST FLOOR SQ. FTG.	
	3590 SQ.FT.
<b>SECOND FLOOR:</b>	
FINISHED SQ. FTG.	2057 SQ.FT.
<b>TOTAL FINISHED SQ. FTG:</b>	
	7601 SQ.FT.
<b>GRAND TOTAL SQ. FTG:</b>	
	9038 SQ.FT.



### SHEETROCK/GYPSUM BOARD:

1. ALL CEILINGS ARE TO HAVE 5/8" NON-SAG GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE TO HAVE  $\frac{1}{2}$ " GYPSUM BOARD UNLESS OTHERWISE NOTED.
3. GARAGE CEILING AND WALLS THAT ADJOIN HOUSE WALLS ARE TO BE  $\frac{5}{8}$ " GYPSUM BOARD PER CODE.

### DOORS & WINDOWS:

1. ALL WINDOWS AND DOORS TO BE DOUBLE PANE GLASS PANELS WITH LOW-E RATINGS.
2. ANY WINDOW WITHIN 24" OF A DOOR SWING MUST BE TEMPERED PER CODE.
3. ANY WINDOW ABOVE A TUB/WET AREA MUST BE TEMPERED PER CODE.
4. ANY WINDOW WITHIN A STAIRWAY MUST BE TEMPERED PER CODE.
5. WINDOW GLAZING MUST BE AT LEAST 18" A.F.F. WHEN WINDOW IS ABOVE 6' FROM GRADE. IF WITHIN 18", WINDOW MUST BE TEMPERED.
6. ALL BEDROOMS TO HAVE AT LEAST ONE WINDOW THAT HAS A CLEAR EGRESS OPENING OF 5.7 SQ. FT. WITH MIN. DIMENSIONS OF 24" IN HEIGHT AND 20" IN WIDTH, SILL HEIGHT NOT TO BE GREATER THAN 44" A.F.F.
7. WINDOWS WITH SILLS WITHIN 3' OF THE FLOOR THEY SERVE AND ARE 72" ABOVE GRADE MUST EITHER HAVE A FALL PREVENTION OR OPENING LIMITER DEVICE PER CODE.

### MECHANICAL & ELECTRICAL:

1. ALL ELECTRICAL AND MECHANICAL EQUIPMENT TO BE VERIFIED AND INSTALLED PER CODE BY APPROVED TRADES AND INSTALLERS.
2. HVAC CONTRACTOR TO VERIFY LAYOUT FOR DUCT-RUNS BEFORE INSTALLATION, IF MODIFICATION IS REQUIRED, REPORT INFORMATION/CHANGES TO CONTRACTOR & LITTFIN DESIGN.

### CODE INFORMATION:

SINGLE FAMILY CONSTRUCTION TYPE IRC-1  
 -2020 MINNESOTA STATE RESIDENTIAL CODE  
 -2023 NATIONAL ELECTRICAL CODE  
 -2020 MINNESOTA STATE MECHANICAL & FUEL GAS CODE  
 -2020 MINNESOTA STATE FIRE CODE  
 -2020 MINNESOTA PLUMBING CODE

### SOIL TYPE:

DESIGNED WITH 2000 PSI SOILS, ALL FOUNDATION CONSTRUCTION MUST FACTOR IN THIS AT A MINIMUM.

### WIND EXPOSURE:

DESIGNED WITH "EXPOSURE B" CLASSIFICATIONS AND WIND GUSTS OF 115 MPH PER 2020 MN RESIDENTIAL CODE REGULATIONS.

### GENERAL NOTES:

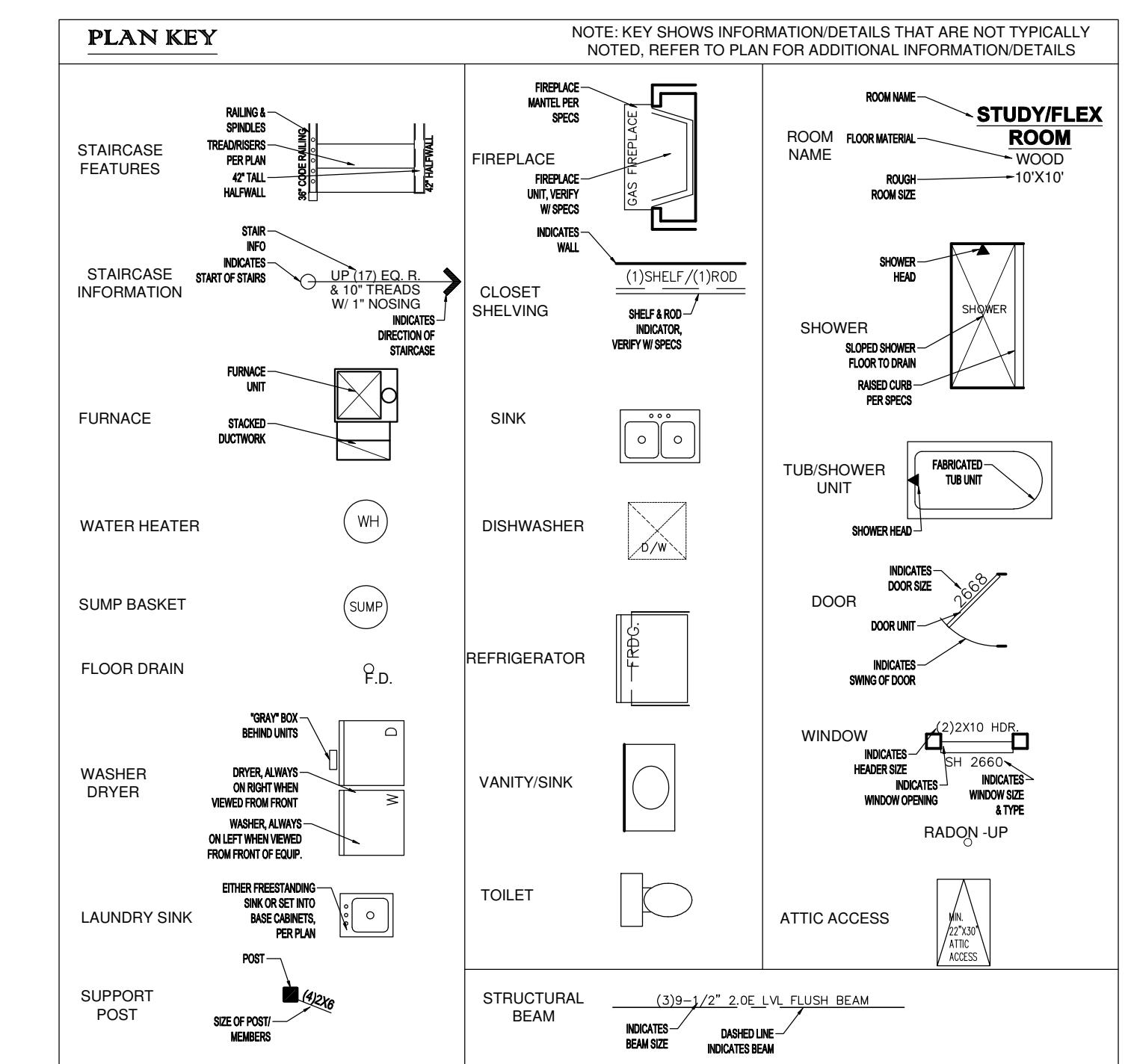
- ALL FOUNDATION WALL STRUCTURAL INFORMATION USED TO CONSTRUCT THE FOUNDATION SYSTEM IS TO BE ON SITE WHEN POURING OR BUILDING WALLS.
- ALL STRUCTURAL BEAMS, POSTS & TALL WALLS ARE TO BE BUILT PER I-LEVEL SPECIFICATIONS.
- ALL MANUFACTURED FLOOR & ROOF TRUSS SPECIFICATIONS ARE TO BE ON SITE DURING INSTALLATION.

### WINDOW SIZE NOTES (EXAMPLES):

-SH3050 EQUALS SINGLE HUNG 3'0" BY 5'0"  
 -FX2646 EQUALS FIXED 2'6" BY 4'6"

## SHEET INDEX:

C	COVER
A1	FRONT ELEVATION
A2	LEFT ELEVATION
A3	REAR ELEVATION
A4	RIGHT ELEVATION
A5	ROOF PLAN
A6	FOUNDATION PLAN
A7	FINISHED BASEMENT PLAN
A8	FIRST FLOOR PLANS
A9	SECOND FLOOR PLAN
D1	BUILDING SECTIONS
D2	BUILDING SECTION
D3	BUILDING SECTION
D4	BUILDING SECTION
D5	DETAILS
D6	DETAILS
R1	RADON DETAILS
S1	BASEMENT WALL BRACING
S2	1ST FLOOR BRACING
S3	2ND FLOOR BRACING & DETAILS



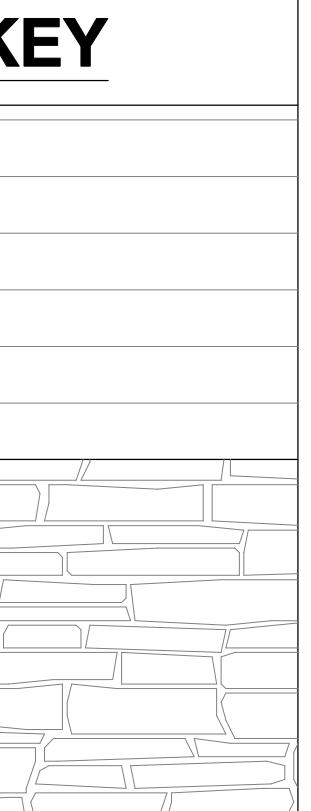
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2-20-25 5-15-25 5-21-25 5-28-25 7-25-25 9-4-25	1867 HUNTER LANE LOCATION: 1867 HUNTER LN, MENDOTA HEIGHTS, MN	© COPYRIGHT 2025	LITTFIN DESIGN	MLITTFIN@HOTMAIL.COM 320-224-7844 WINSTED, MN	9-5-25	C ID COVER SHEET SCALED PRINT @ 24X36

## GENERAL EXTERIOR NOTES:

1. ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
2. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
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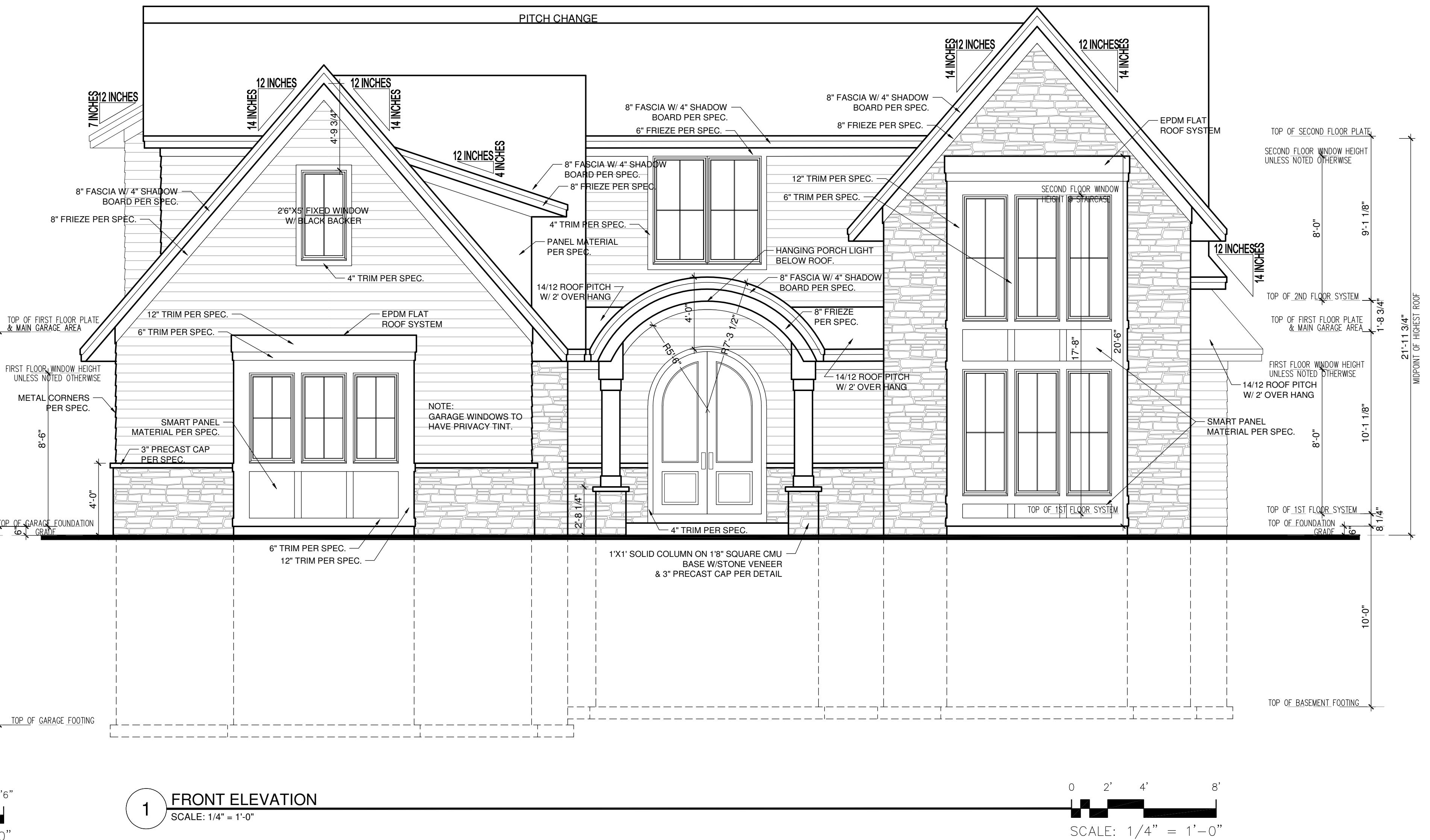
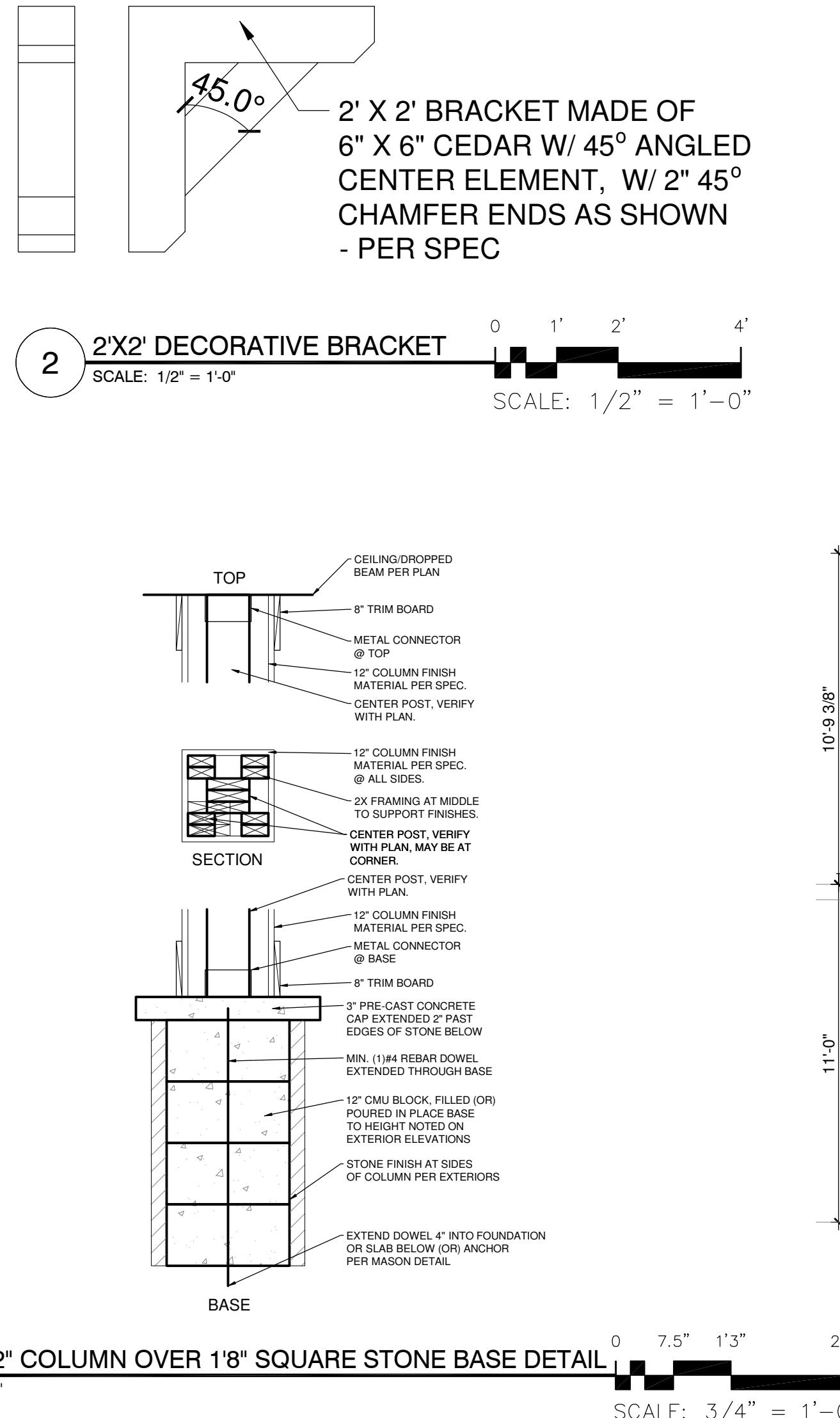
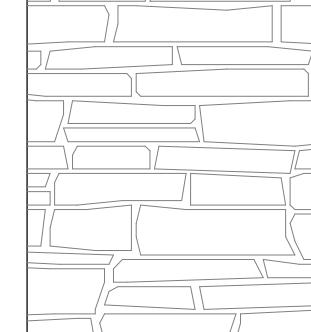
## EXTERIOR MATERIAL KEY

**6" HORIZONTAL SIDING**  
**-MATERIAL: SMART-SIDING,  
VERIFY W/ SPEC.**



## **STONE VENEER**

### **-MATERIAL: COMPOSITE, VERIFY W/ SPEC.**



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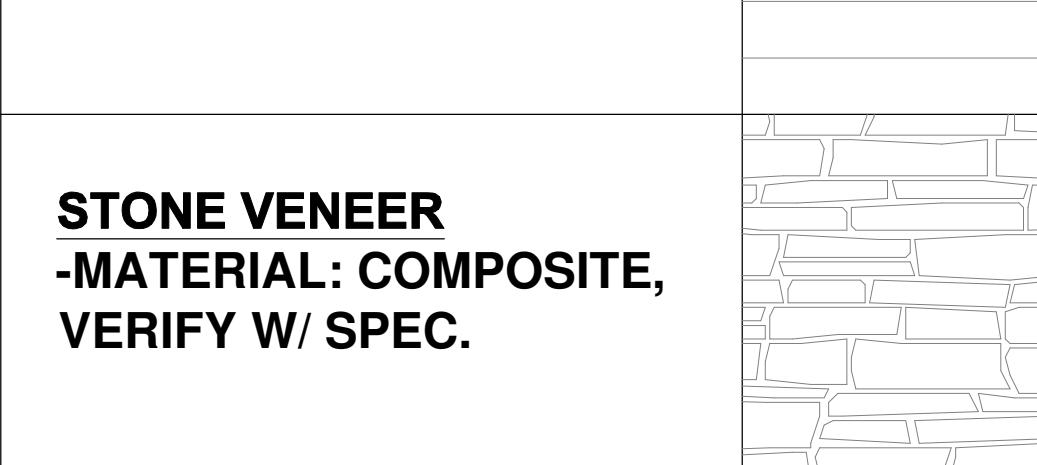
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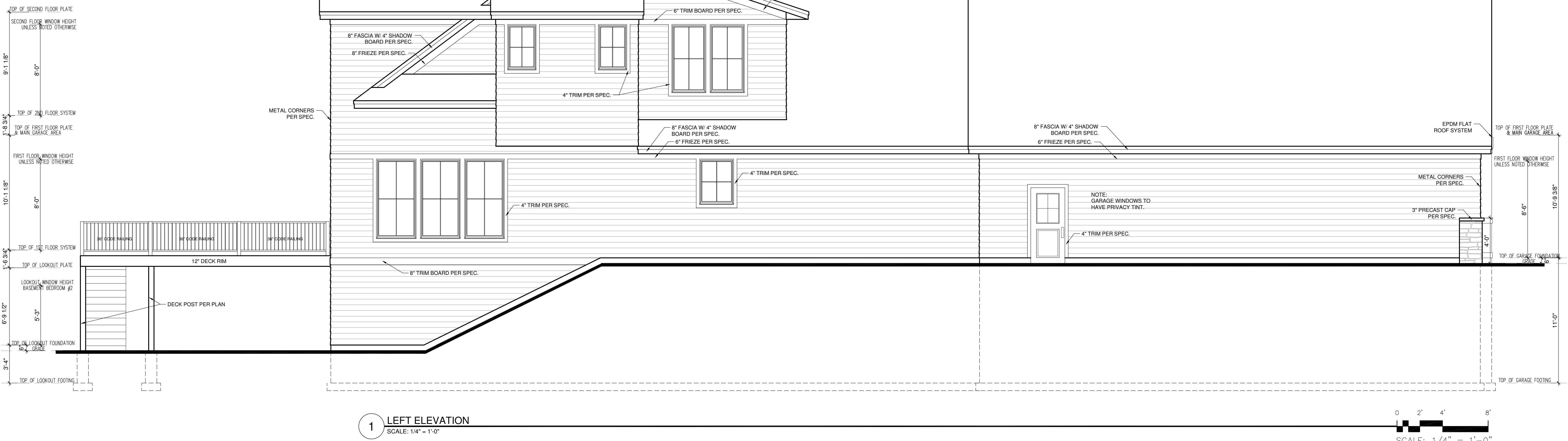
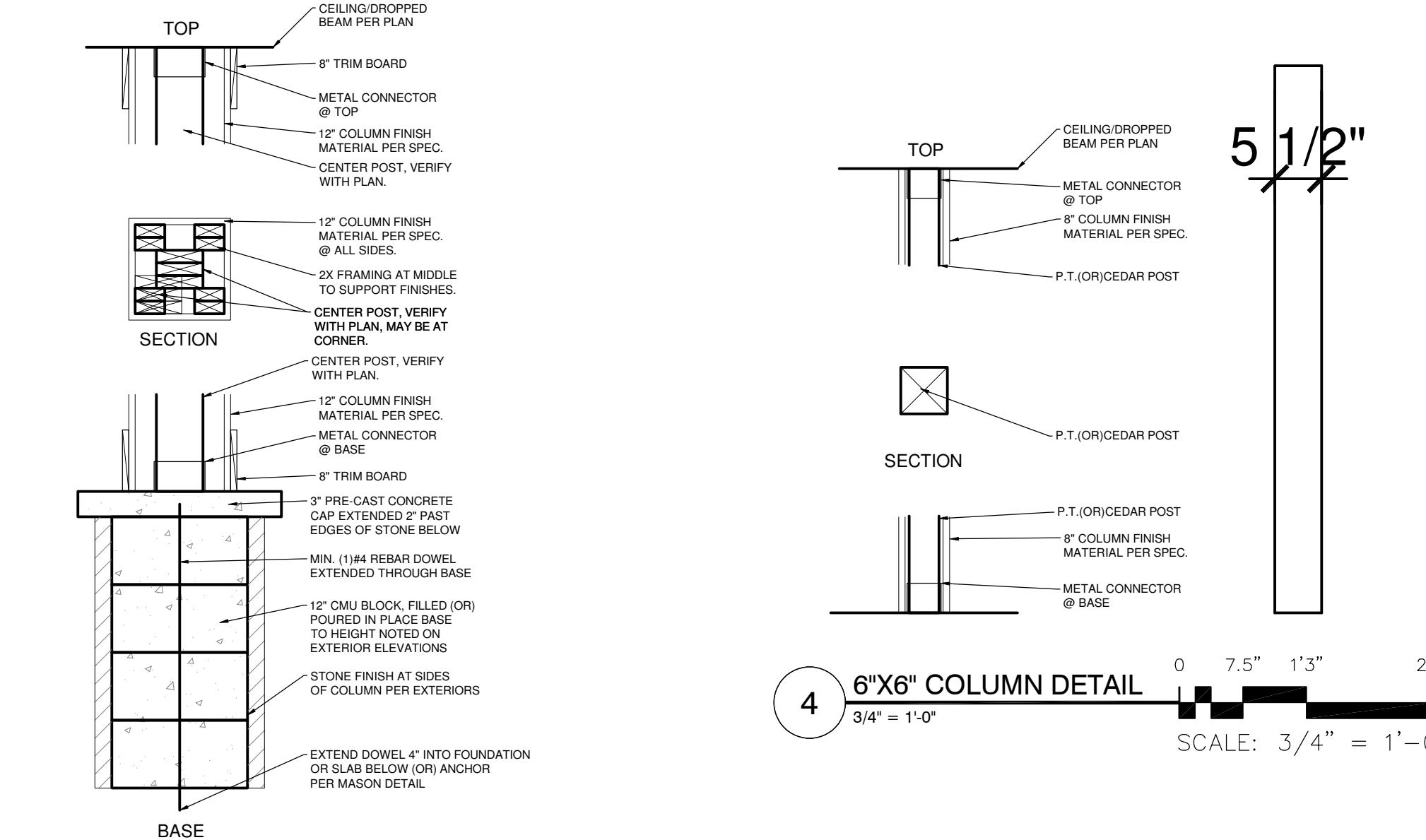
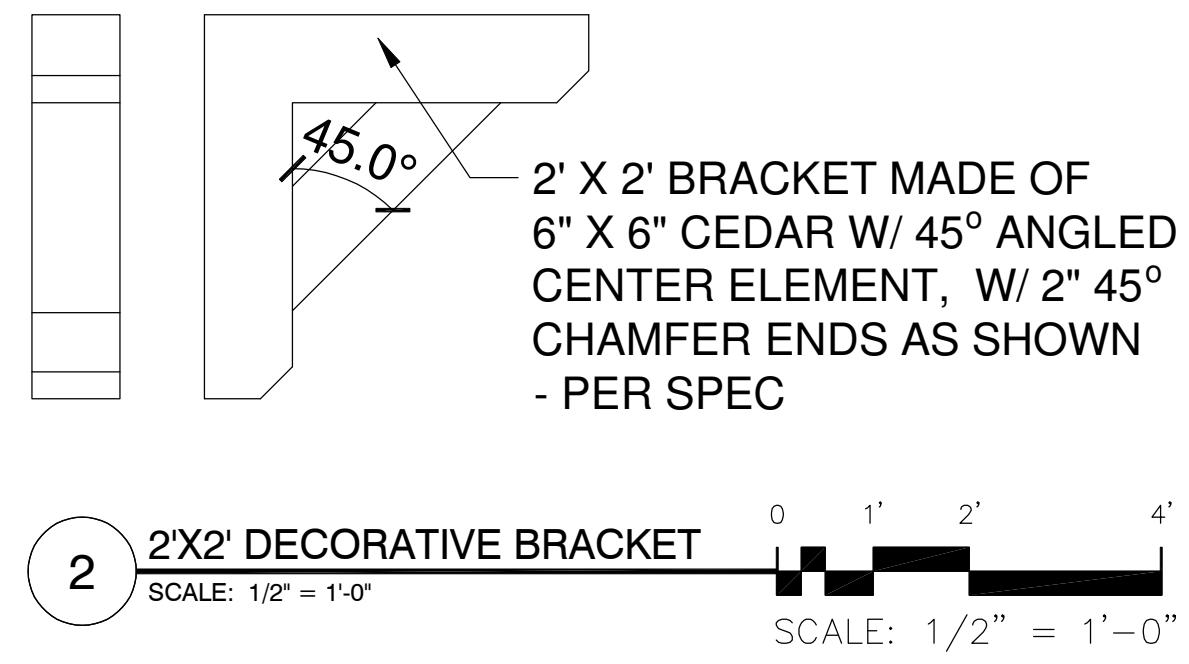
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REVISED PER BUILDER/ADDED SPORT COURT	2-20-25	1867 HUNTER LANE
BOWLING ALLEY DETAILS UPDATED	5-15-25	LITTFINDESIGN.COM
LOOKOUT FOUNDATION WALLS UPDATED	5-21-25	MLITTFIN@HOTMAIL.COM
STRUCTURE UPDATED PER ENGINEER'S REDLINES	5-28-25	320-224-7844
GIRDERS & ROOF PITCH UPDATED PER TRUSS PLANS	7-25-25	WINSTED, MN
ROOF PITCH CHANGED & FLOOR PLANS ADJUSTED	9-4-25	© COPYRIGHT 2025

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2' X 2' BRACKET MADE OF  
6" X 6" CEDAR W/ 45° ANGLED  
CENTER ELEMENT, W/ 2" 45°  
CHAMFER ENDS AS SHOWN  
- PER SPEC

2 2'X2' DECORATIVE BRACKET  
SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

TOP  
CEILING DROPPED BEAM PER PLAN  
8" TRIM BOARD  
METAL CONNECTOR @ TOP  
12" COLUMN FINISH MATERIAL PER SPEC.  
CENTER POST, VERIFY WITH PLAN

SECTION  
12" COLUMN FINISH MATERIAL PER SPEC. @ ALL SIDES  
2X FRAMING AT MIDDLE TO SUPPORT FINISHES  
CENTER POST, VERIFY WITH PLAN  
CENTER POST, VERIFY WITH PLAN

12" COLUMN FINISH MATERIAL PER SPEC.  
CENTER POST, VERIFY WITH PLAN  
12" CMU BLOCK, FILLED (OR)  
POURED IN PLACE BASE TO SUPPORT EXTERIOR ELEVATIONS

STONE FINISH AT SIDES OF COLUMN PER EXTERIOR  
EXTEND DOWEL 4" INTO FOUNDATION OR SLAB BELOW (OR) ANCHOR PER MASON DETAIL

BASE  
8" TRIM BOARD  
2" PRE-CAST CONCRETE CAP EXTENDED 2" PAST EDGES OF STONE BELOW  
MIN. 1/4" REBAR DOWEL EXTENDED THROUGH BASE

12" CMU BLOCK, FILLED (OR)  
POURED IN PLACE BASE TO SUPPORT EXTERIOR ELEVATIONS

STONE FINISH AT SIDES OF COLUMN PER EXTERIOR

EXTEND DOWEL 4" INTO FOUNDATION OR SLAB BELOW (OR) ANCHOR PER MASON DETAIL

3 12"X12" COLUMN OVER 1'8" SQUARE STONE BASE DETAIL  
3/4" = 1'-0"

SCALE: 3/4" = 1'-0"



1 REAR ELEVATION

SCALE: 1/4" = 1'-0"

TOP  
CEILING DROPPED BEAM PER PLAN  
METAL CONNECTOR @ TOP  
8" COLUMN FINISH MATERIAL PER SPEC.  
P.T. (OR) CEDAR POST

SECTION  
P.T. (OR) CEDAR POST  
8" COLUMN FINISH MATERIAL PER SPEC.  
METAL CONNECTOR @ BASE

5 1/2"  
0 7.5" 1'3" 2'6"  
P.T. (OR) CEDAR POST  
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METAL CONNECTOR @ BASE

4 6"X6" COLUMN DETAIL  
3/4" = 1'-0"

SCALE: 3/4" = 1'-0"

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DRAWING TITLE:

1867 HUNTER LANE

LOCATION:  
1867 HUNTER LN, MENDOTA HEIGHTS, MN

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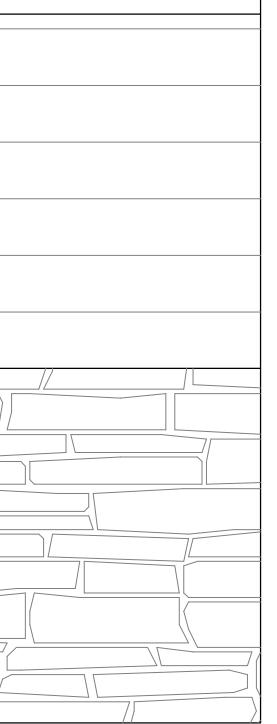
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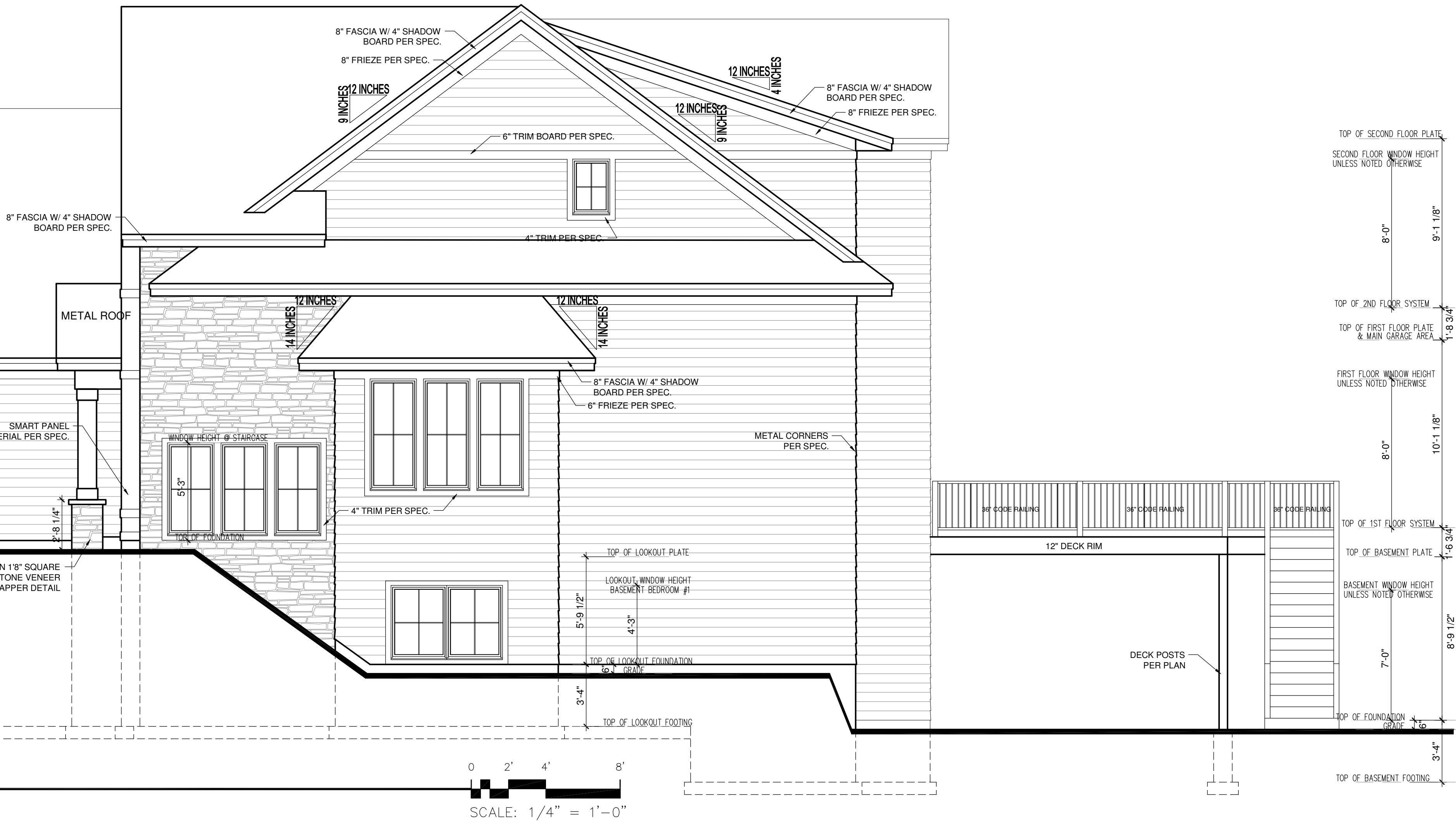
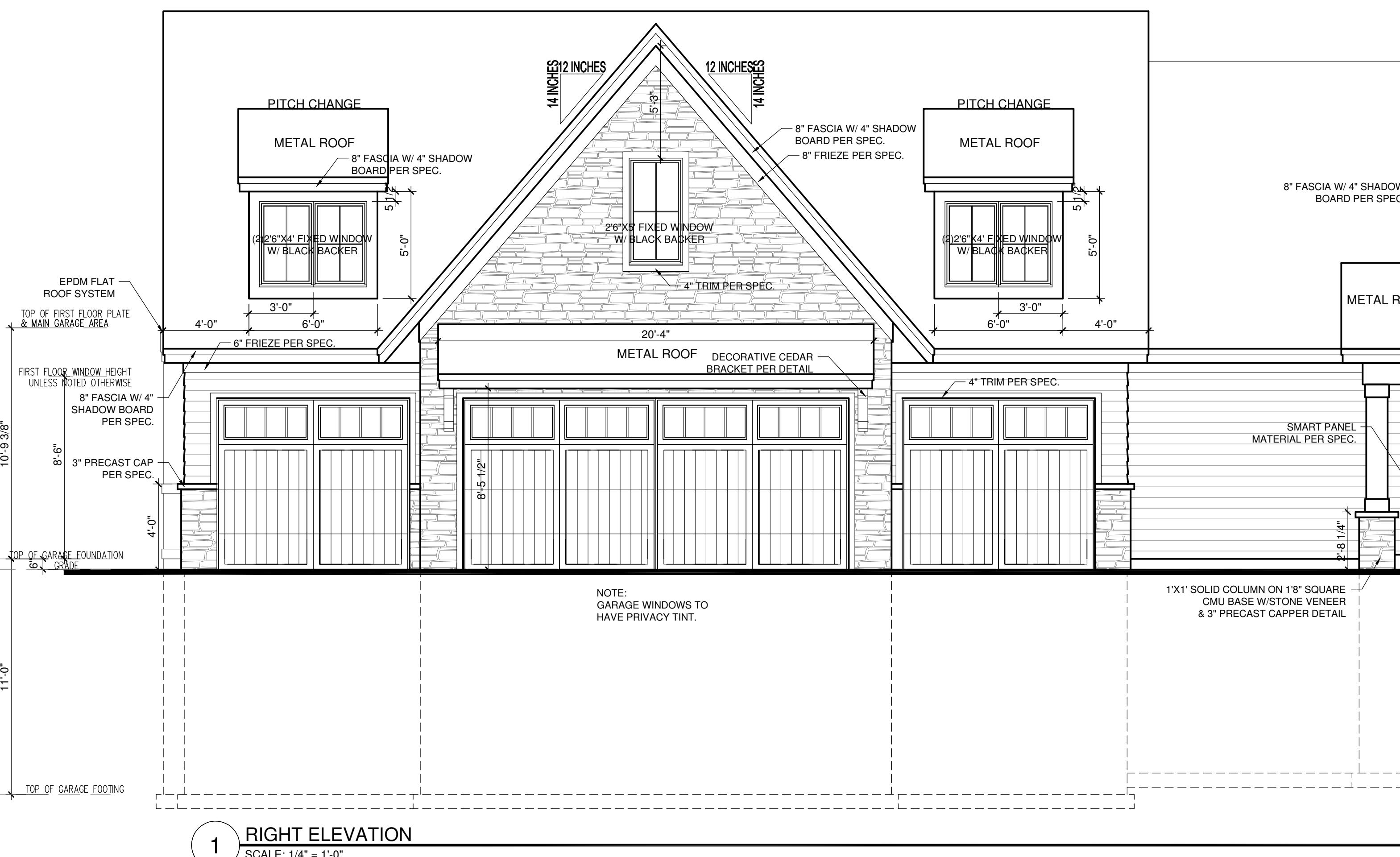
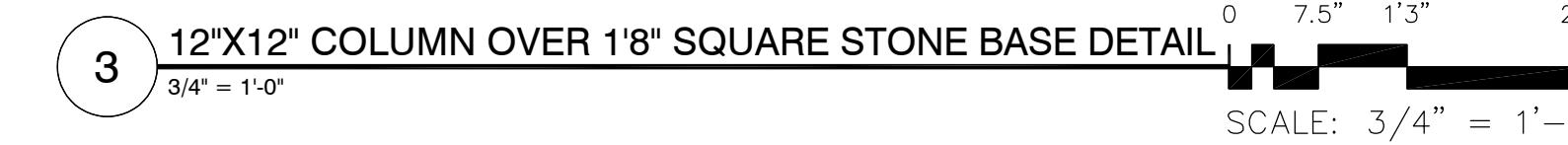
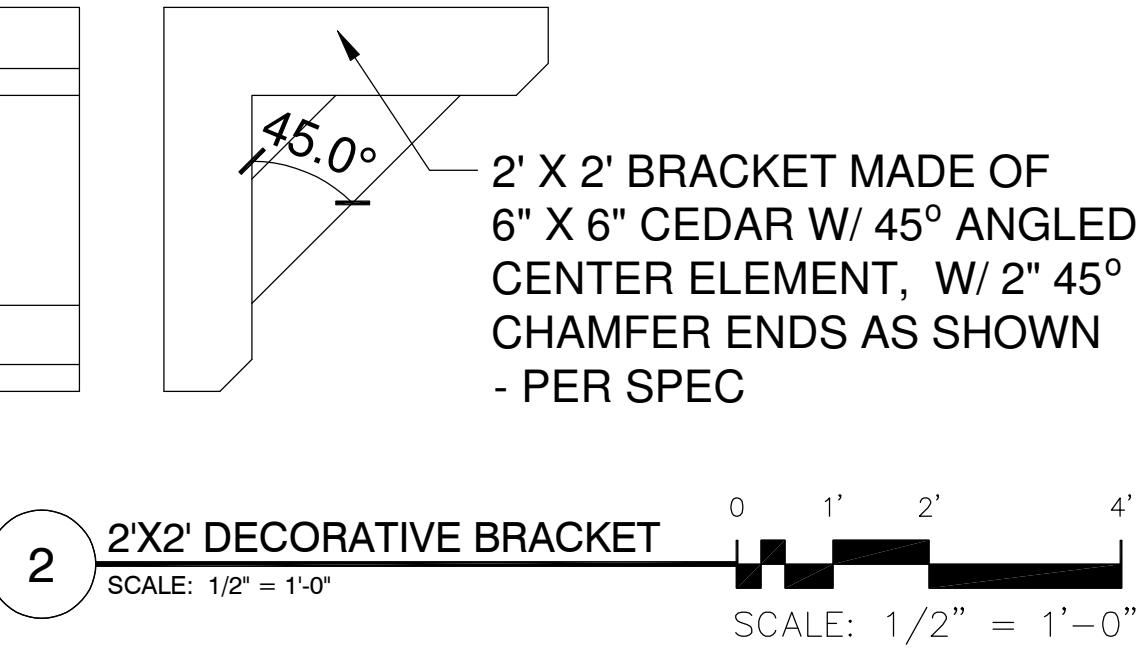
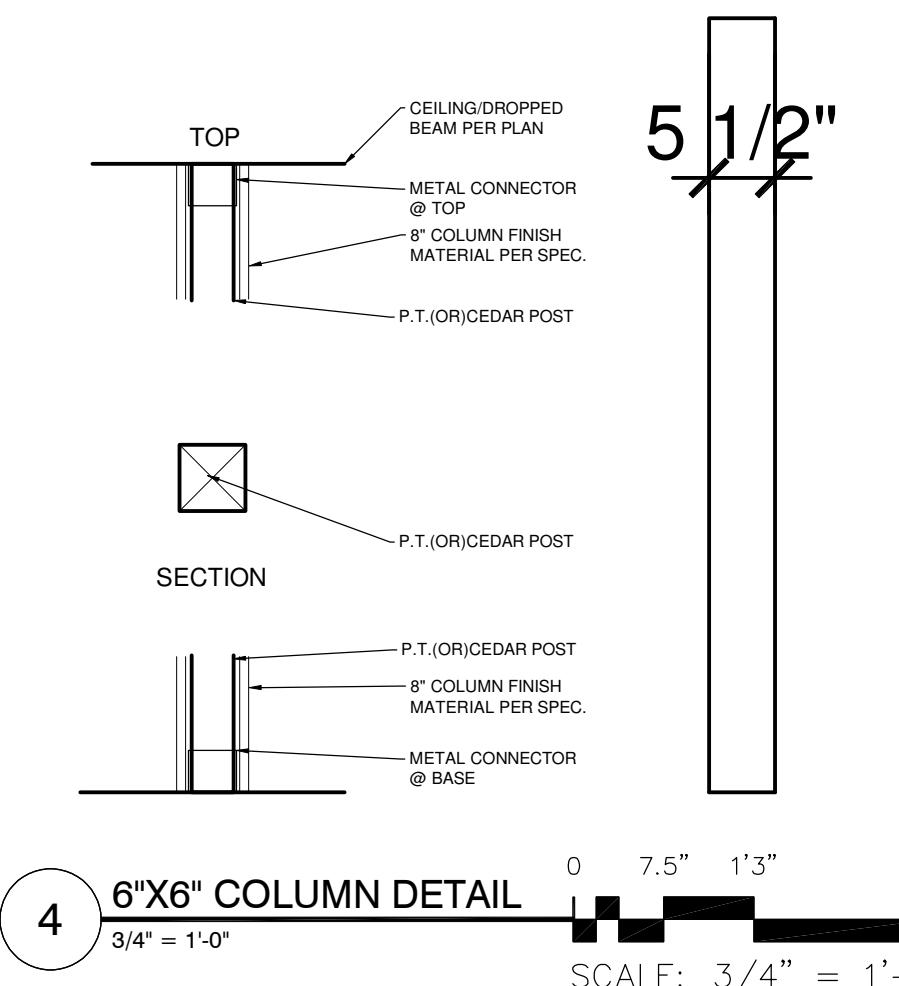
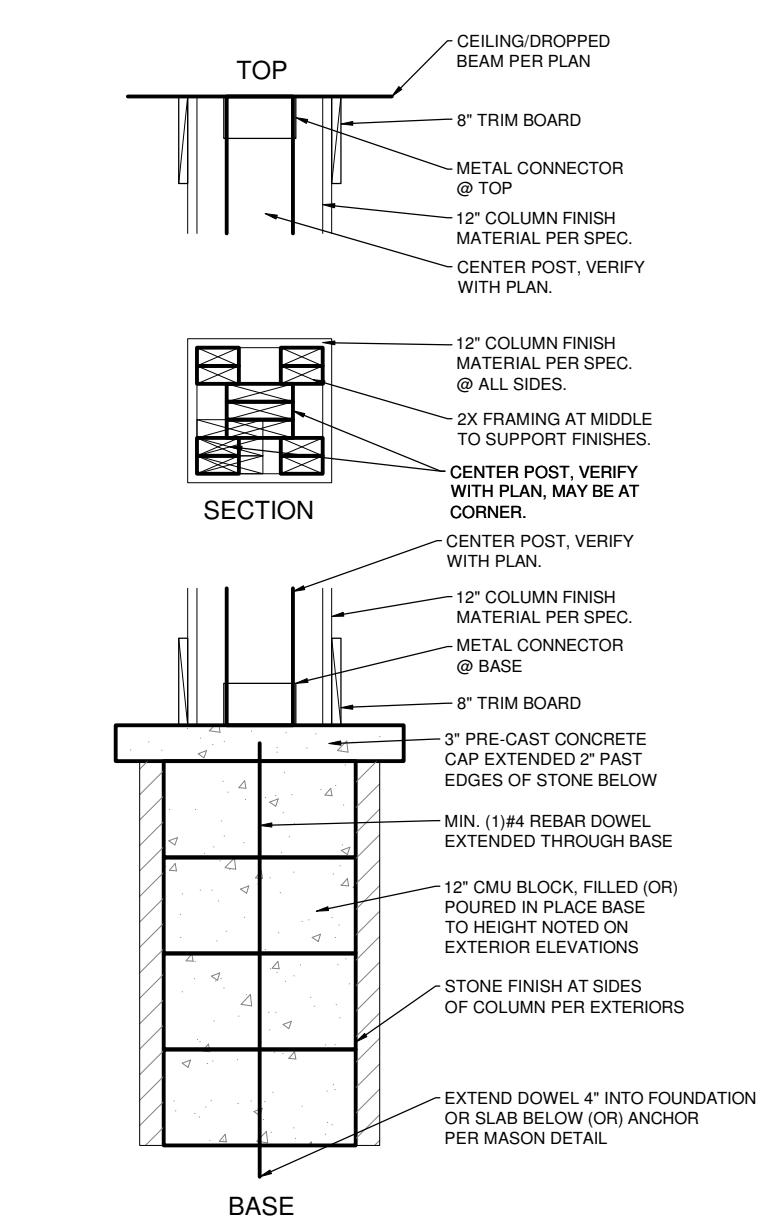
1. ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
2. PROVIDE ROOF AND SOFFIT VENTS PER IRC CODE REGULATIONS.
3. ALL FURNACE FLUES, PLUMBING VENTS, FIREPLACE VENTS, AND OTHER PENETRATIONS THROUGH ROOF OR WALLS TO EXTEND THROUGH REAR OF HOME WHENEVER POSSIBLE.
4. ALL PENETRATIONS THROUGH EXTERIOR WALLS OR ROOFING MUST BE SEALED AND FLASHED PER MANUFACTURE SPECIFICATIONS AND IRC CODE REGULATIONS.
5. SUPPLY AT LEAST 6" OF SPACE BETWEEN BOTTOMS OF WINDOWS AND ROOFS.
6. ALL BEAMS HOLDING UP PORCH ROOFS ARE TO BE DROPPED UNLESS OTHERWISE NOTED.
7. SUPPLY DRIPCAPS ON ALL WINDOWS AND DOORS.
8. ALL EXTERIOR TRIM TO BE FLASHED PER CODE
9. SUPPLY SEPARATION BETWEEN WOOD, COMPOSITE WOOD, AND ANY OTHER WOOD MATERIAL PER SPECIFICATIONS.
10. HOLD STONE OFF GRADE MINIMUM OF 3" OR PER TRADE SPECIFICATIONS.
11. REFER TO MANUFACTURE SPECIFICATIONS FOR STONE.
12. GARAGE BUCK BOARD MATERIAL IS TO BE COMPOSITE WOOD AND SIZED TO COVER THE EDGE OF STONE.
13. GRADE CONDITIONS MAY VARY ON SITE.

## EXTERIOR MATERIAL KEY

**6" HORIZONTAL SIDING**  
**-MATERIAL: SMART-SIDING,  
VERIFY W/ SPEC.**



**STONE VENEER**  
**-MATERIAL: COMPOSITE,  
VERIFY W/ SPEC.**



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STRUCTURE UPDATED PER ENGINEER'S REDLINES  
GIRDERS & ROOF PITCH UPDATED PER TRUSS PLANS  
ROOF PITCH CHANGED & FLOOR PLANS ADJUSTED

REV

1867 HUNTER LANE

5-21-25  
5-28-25  
7-25-25  
LOCATION: 1867 HUNTER LN, MENDOTA HEIGHTS, MN

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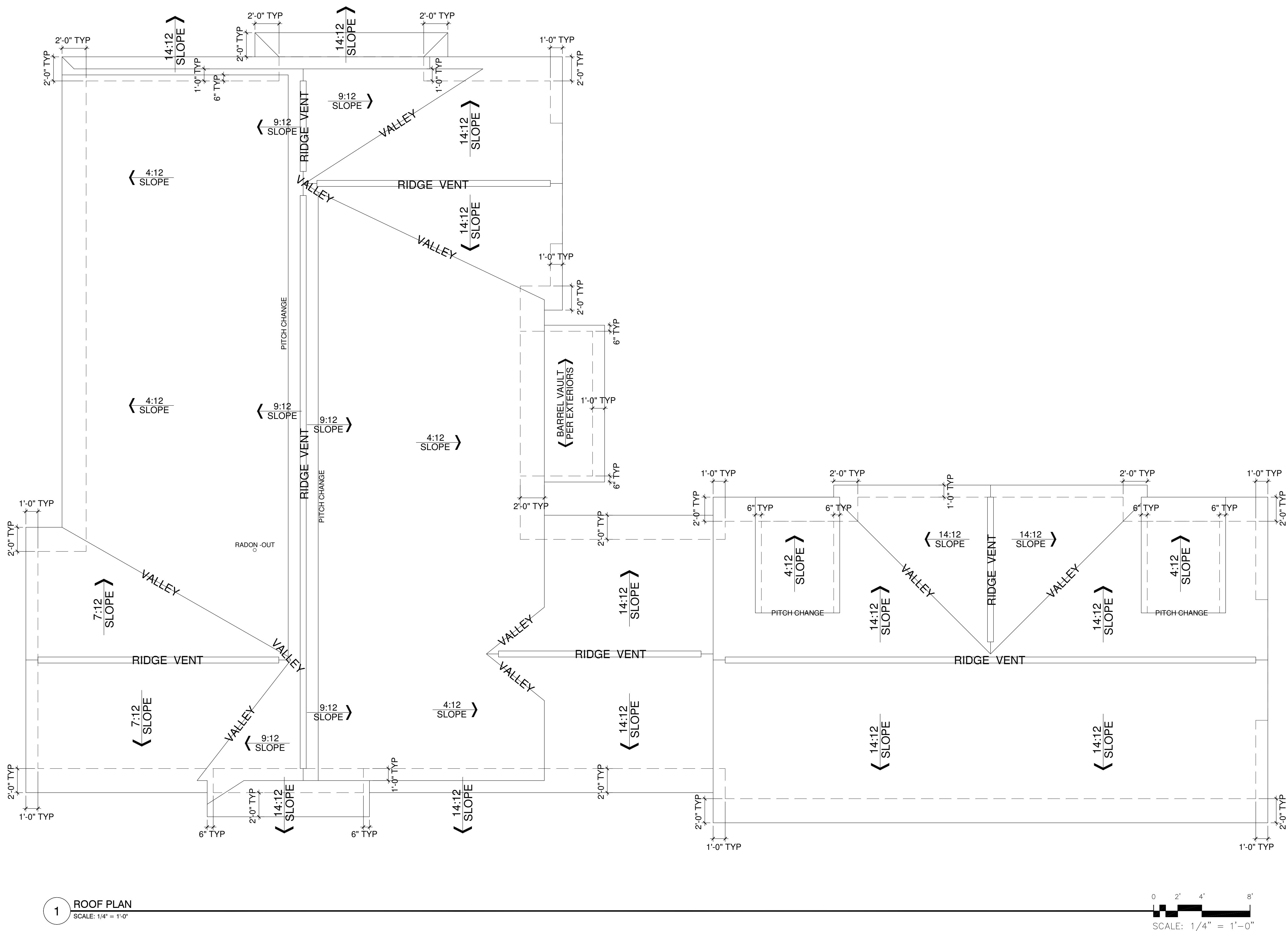
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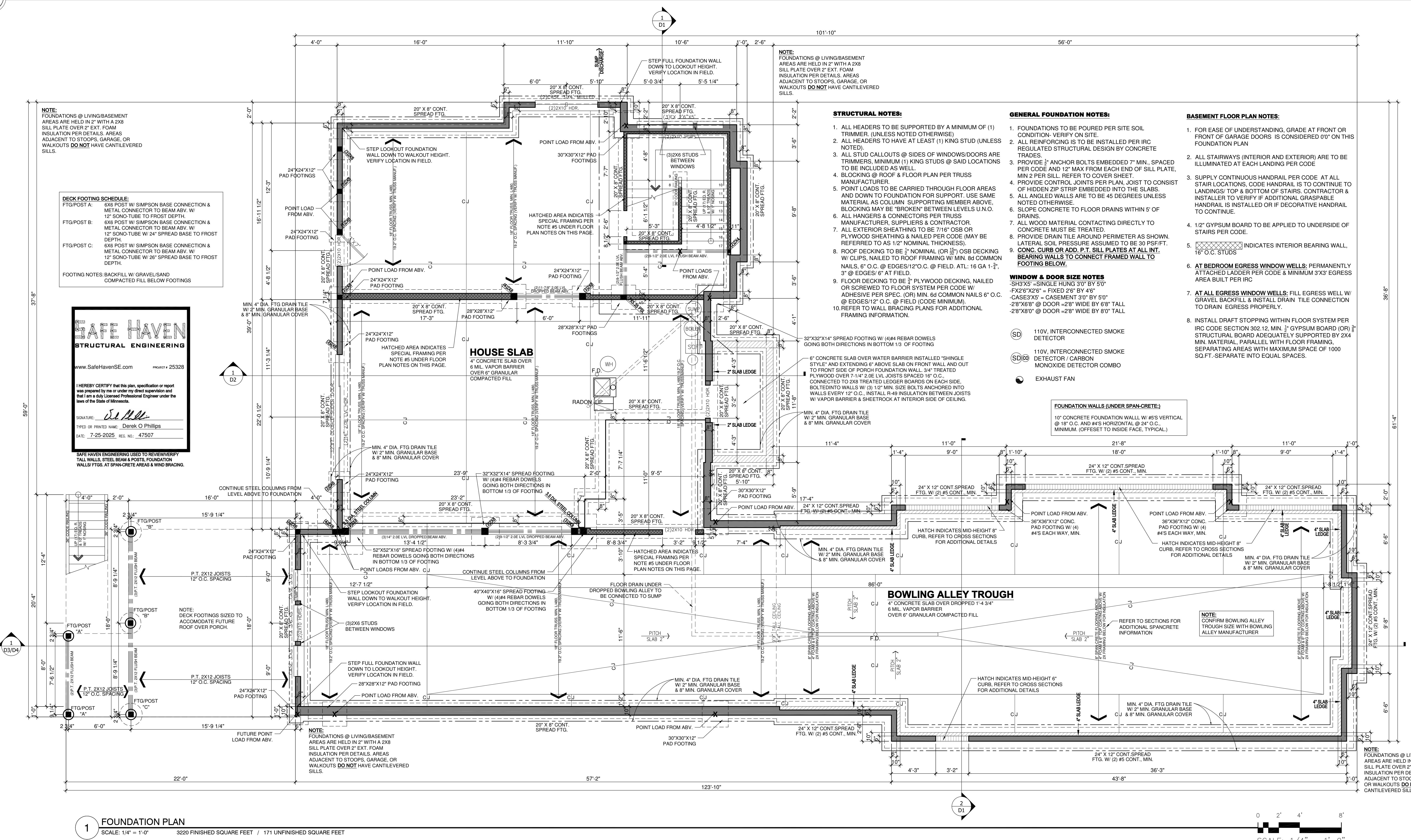
GENERAL EXTERIOR NOTES:

- ICE AND WATER BARRIER @ BOTTOM 6' OF ALL ROOF LINES, EXTEND BARRIER MIN. 3' ON EACH SIDE OF VALLEY, COVER ENTIRE FACE OF ROOF SADDLES. VERIFY ADDITIONAL LOCATIONS OF ICE AND WATER BARRIER AS NEEDED IN FIELD.
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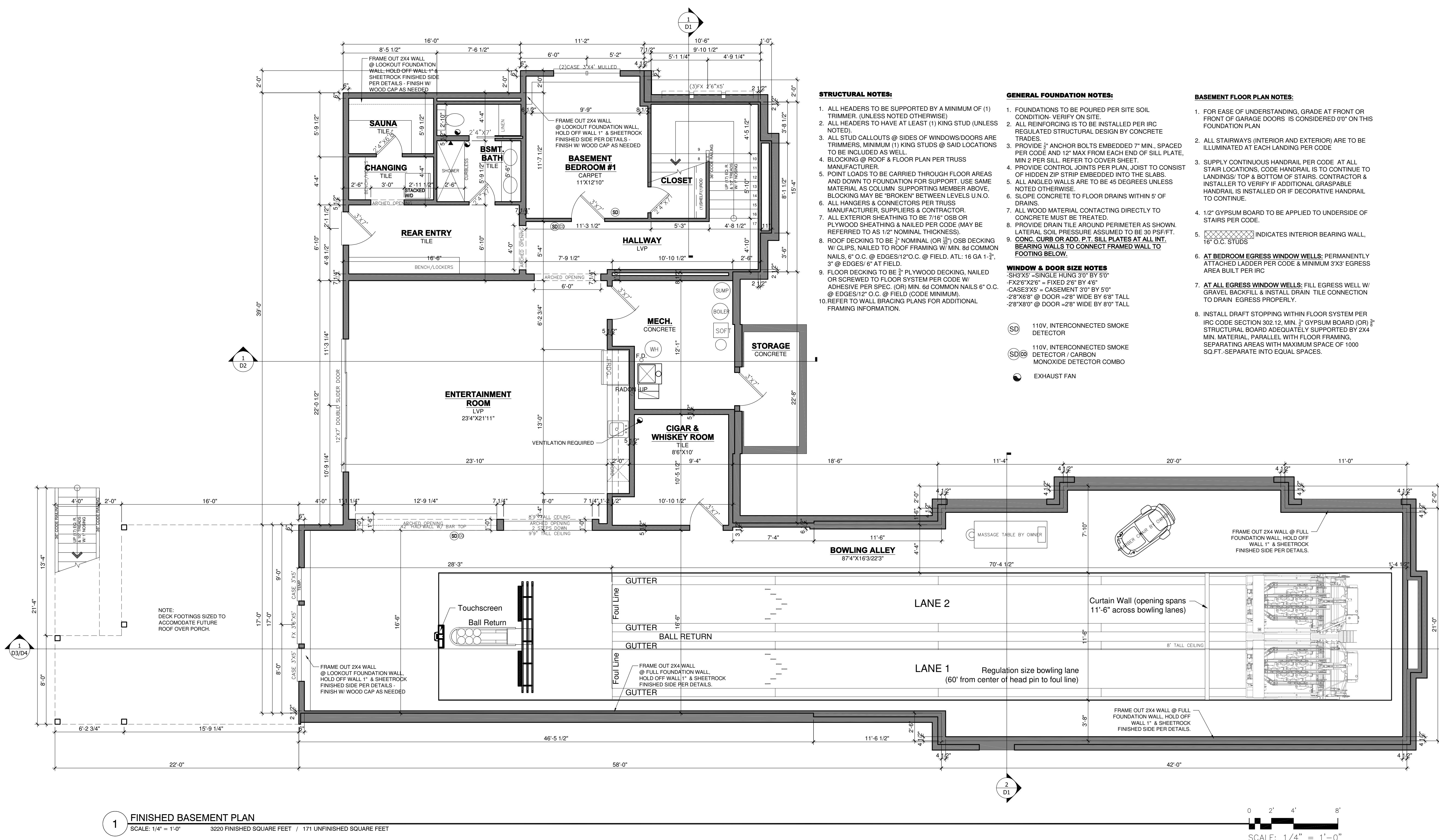


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REvised per builder/added sport court  
bowling alley details updated  
lookout foundation walls updated  
structure updated per engineer's redlines  
girders & roof pitch updated per truss plans  
roof pitch changed & floor plans adjusted

REV. DATE: 1867 HUNTER LANE

LOCATION: 1867 HUNTER LN, MENDOTA HEIGHTS, MN

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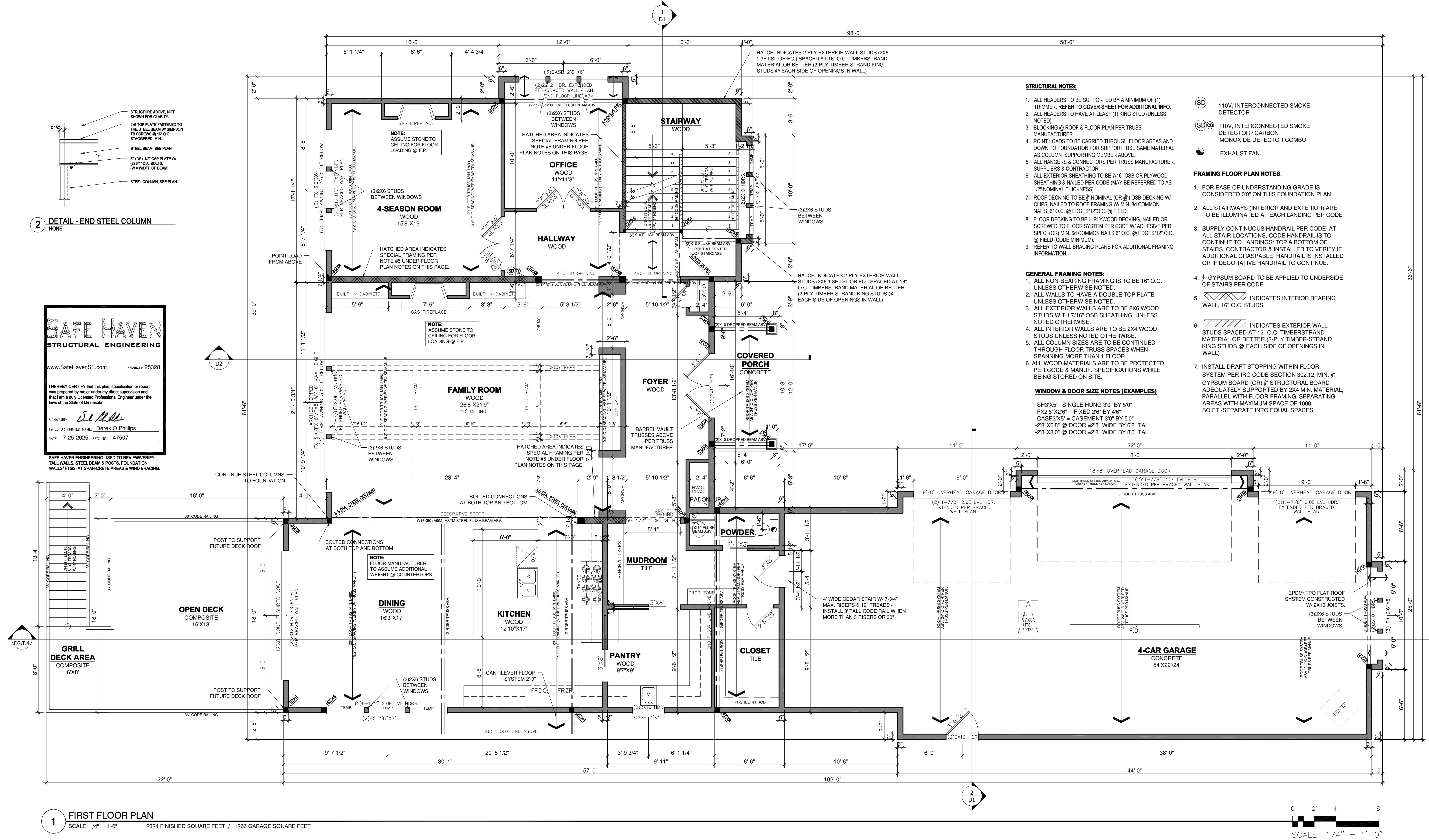


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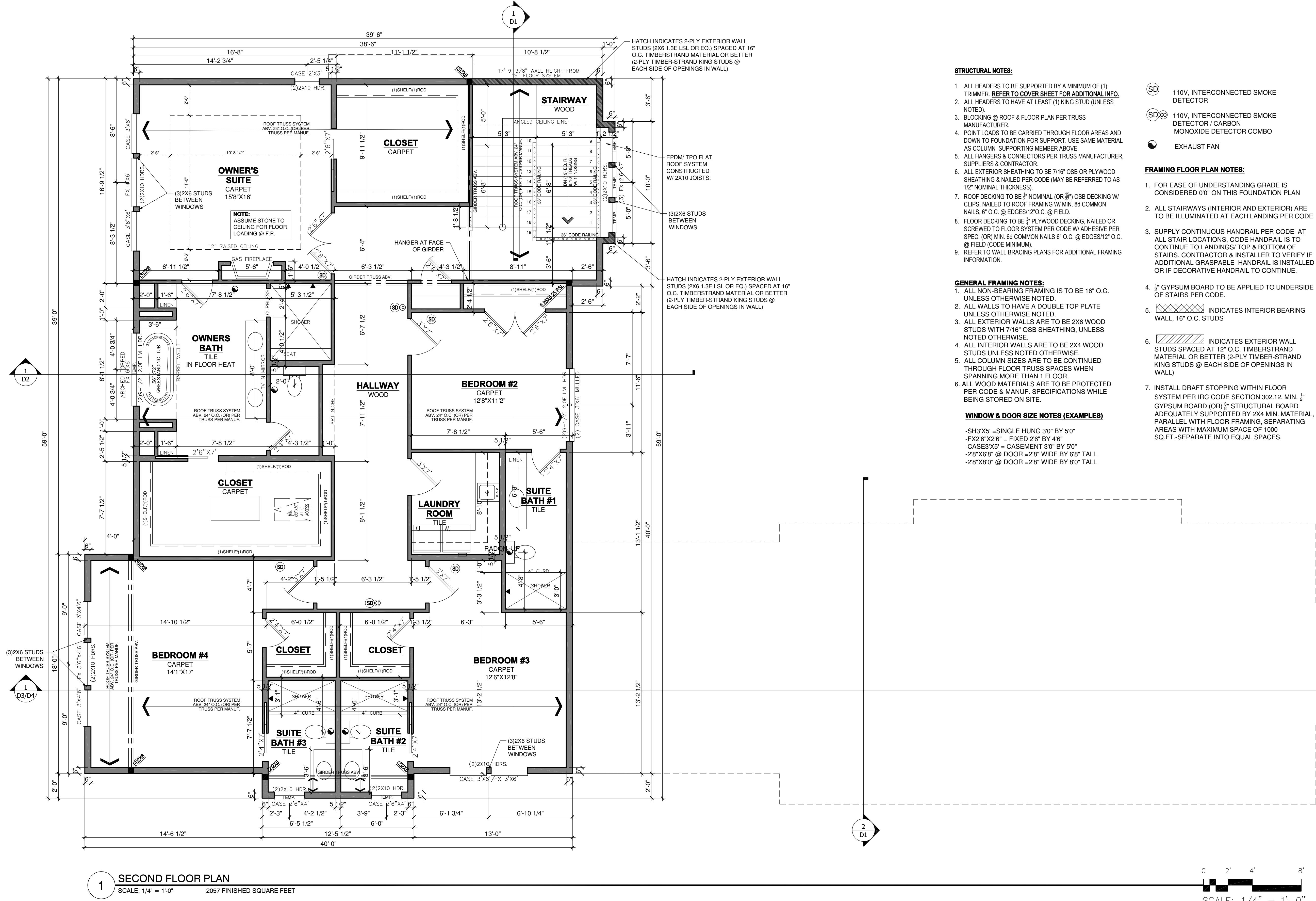
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A8

PAGE DESCRIPTION: FIRST FLOOR PLANS SCALED PRINT @ 24X36



SAFE HAVEN ENGINEERING USED TO REVIEW/VERIFY  
TALL WALLS, STEEL BEAM & POSTS, FOUNDATION  
WALLS/FTGS. AT SPAN-CRETE AREAS & WIND BRACING.



0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:

1867 HUNTER LANE

LOCATION:  
1867 HUNTER LN, MENDOTA HEIGHTS, MN

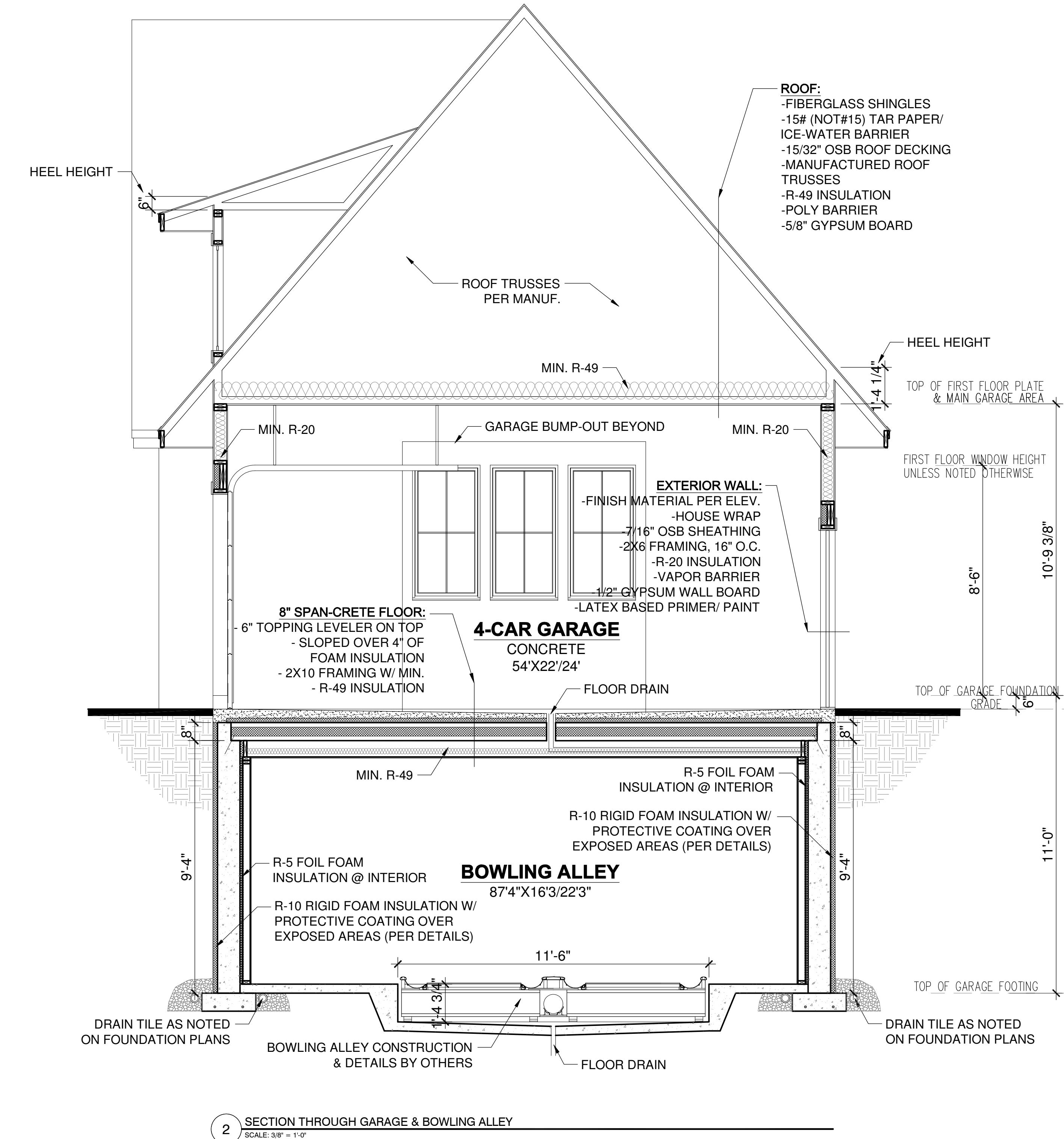
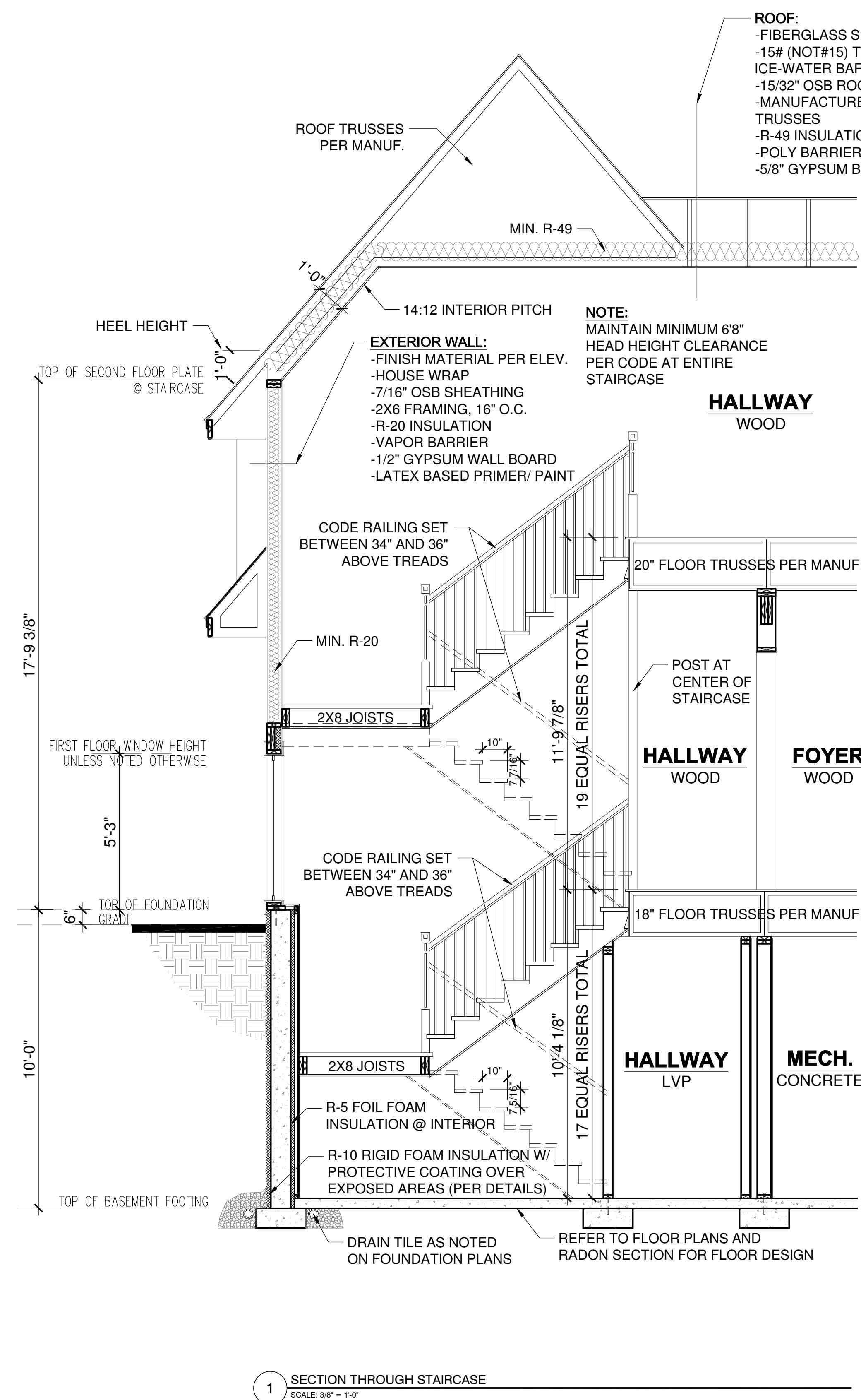
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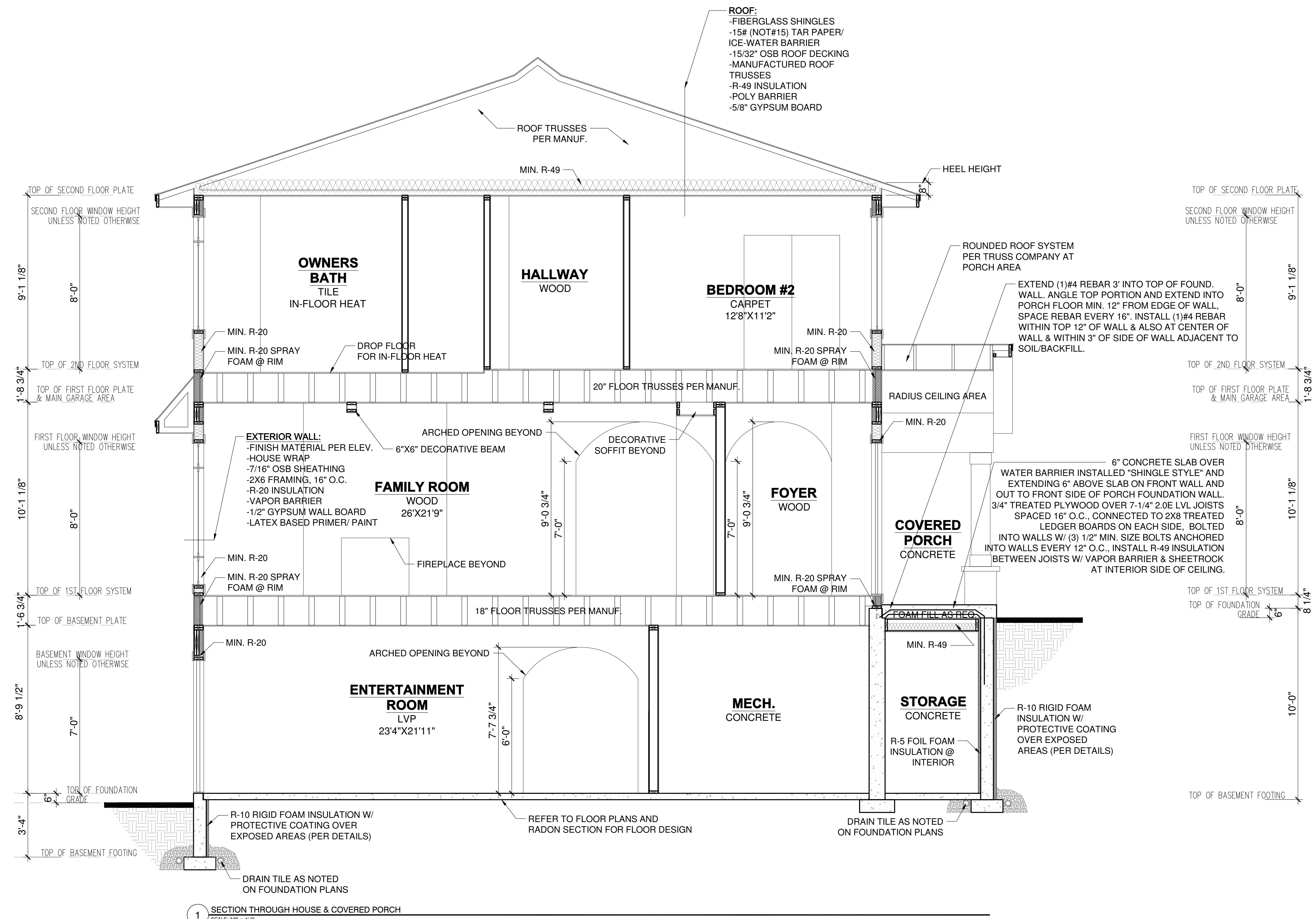
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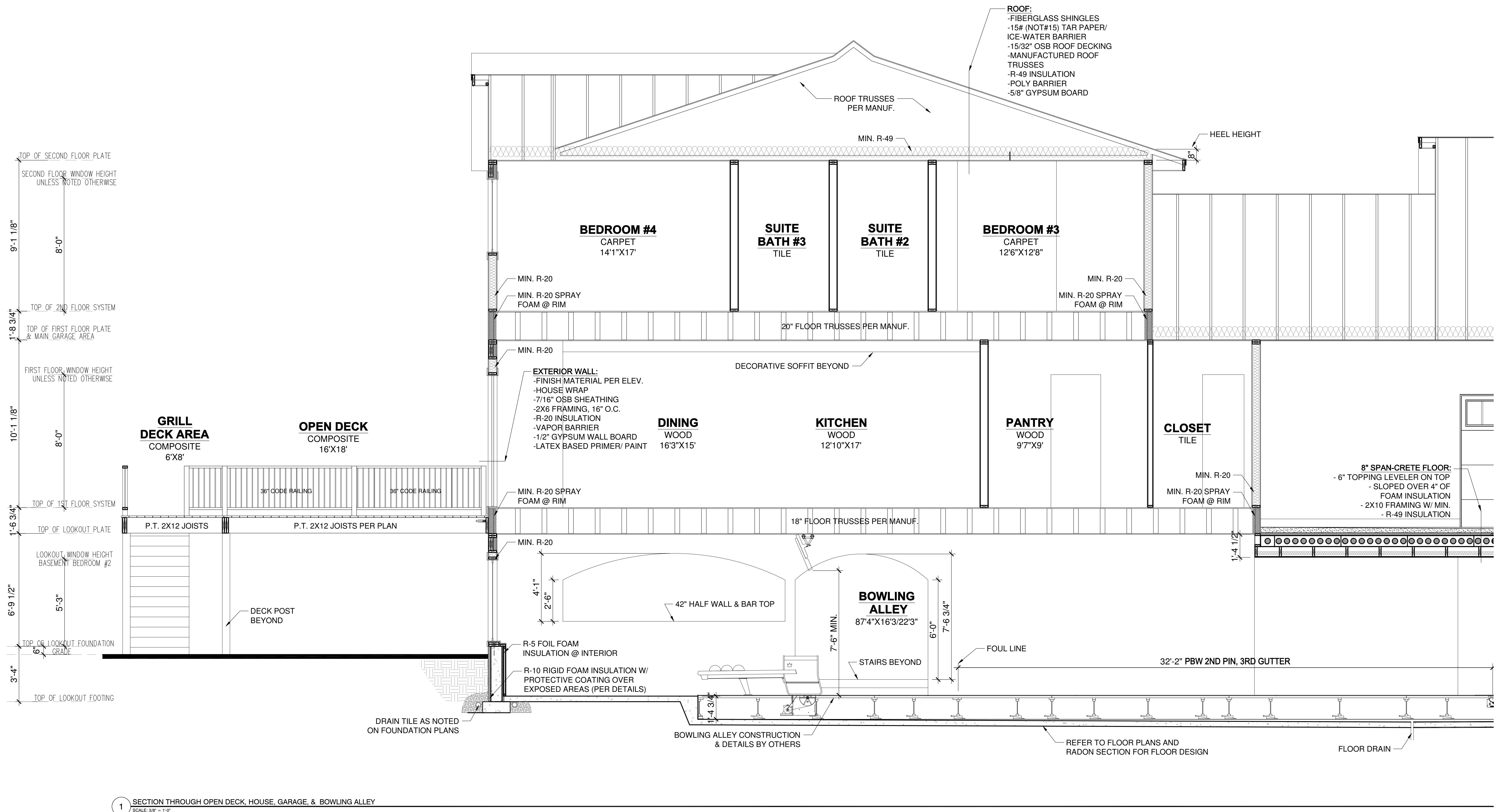


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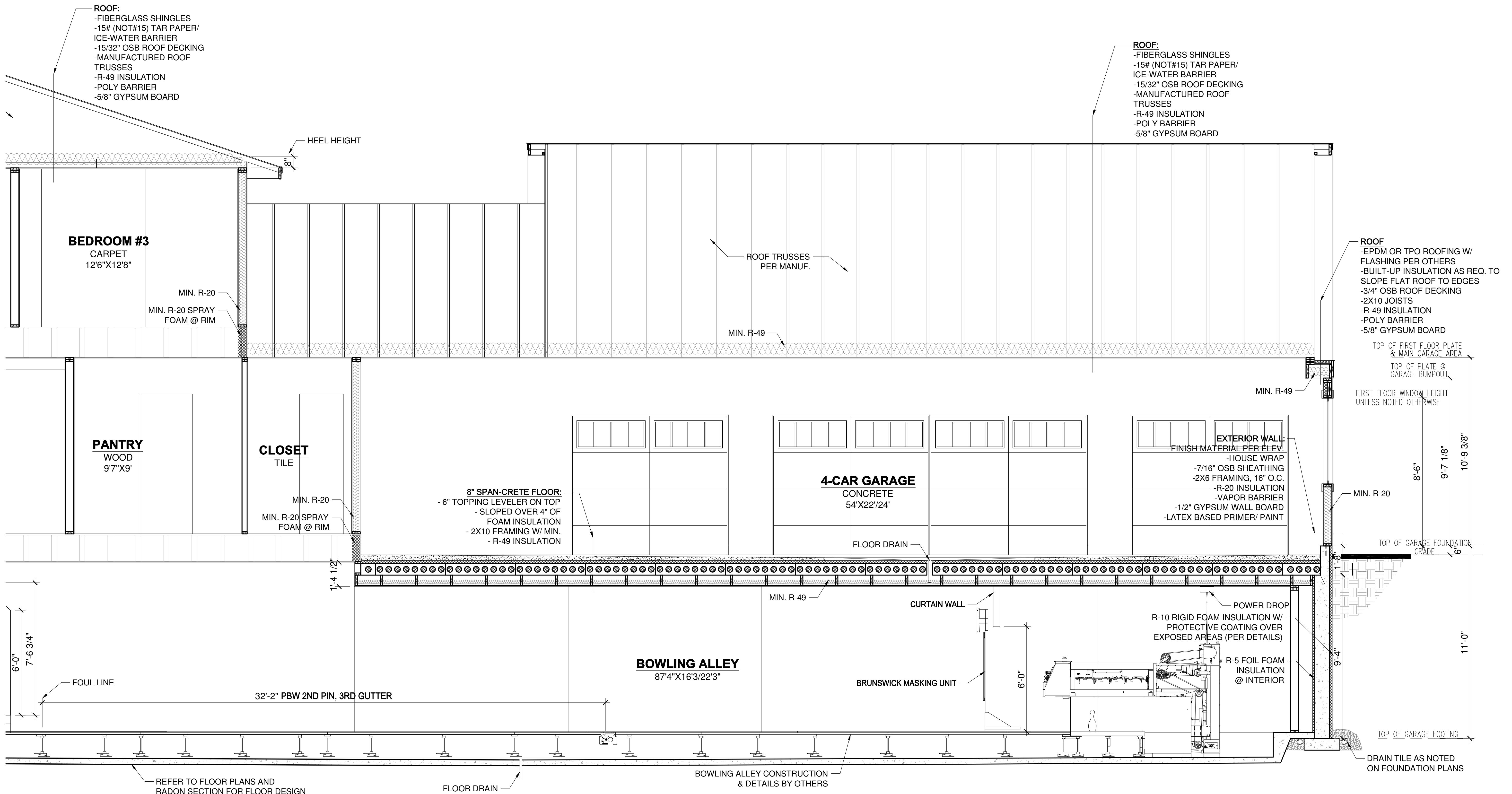
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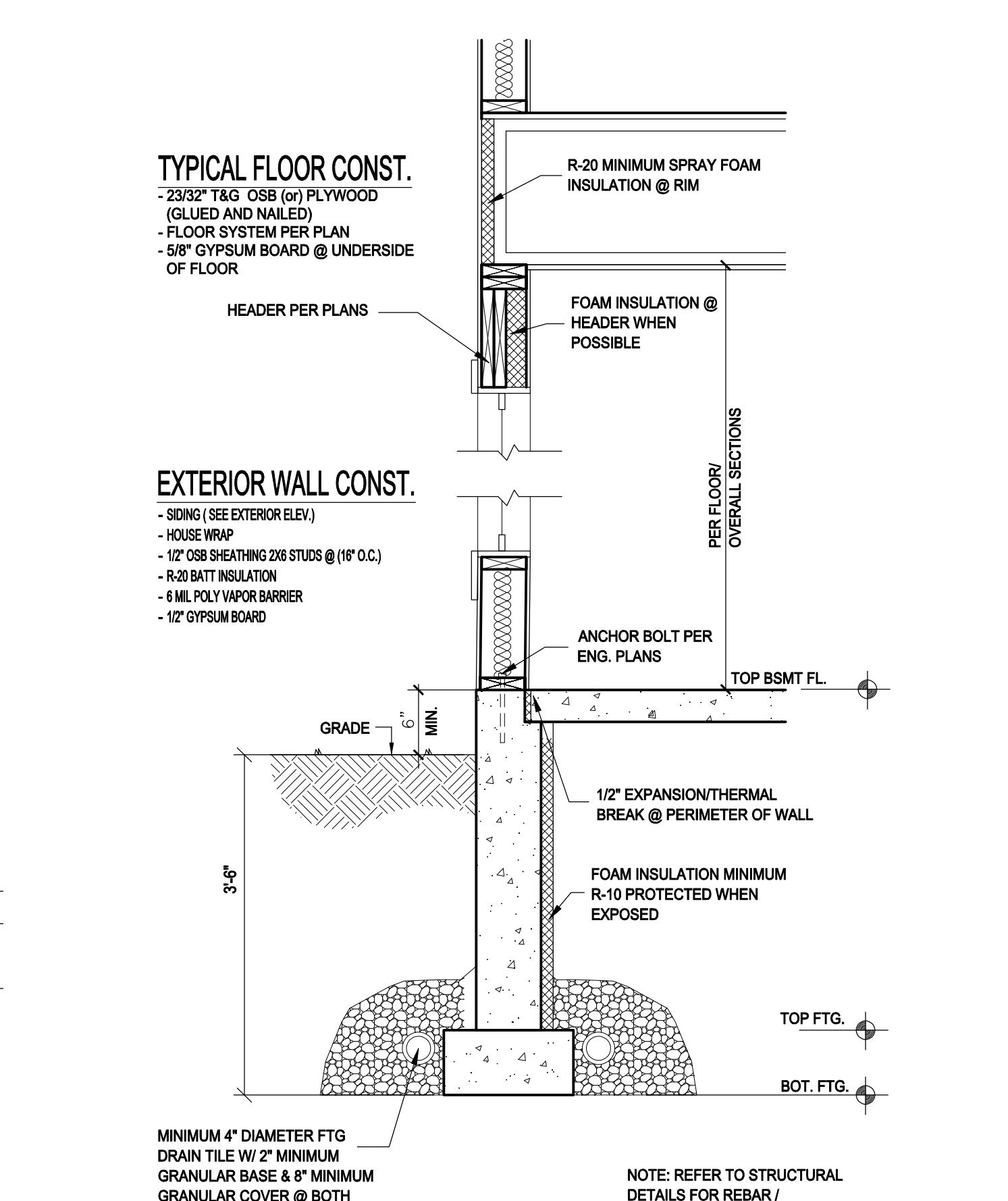
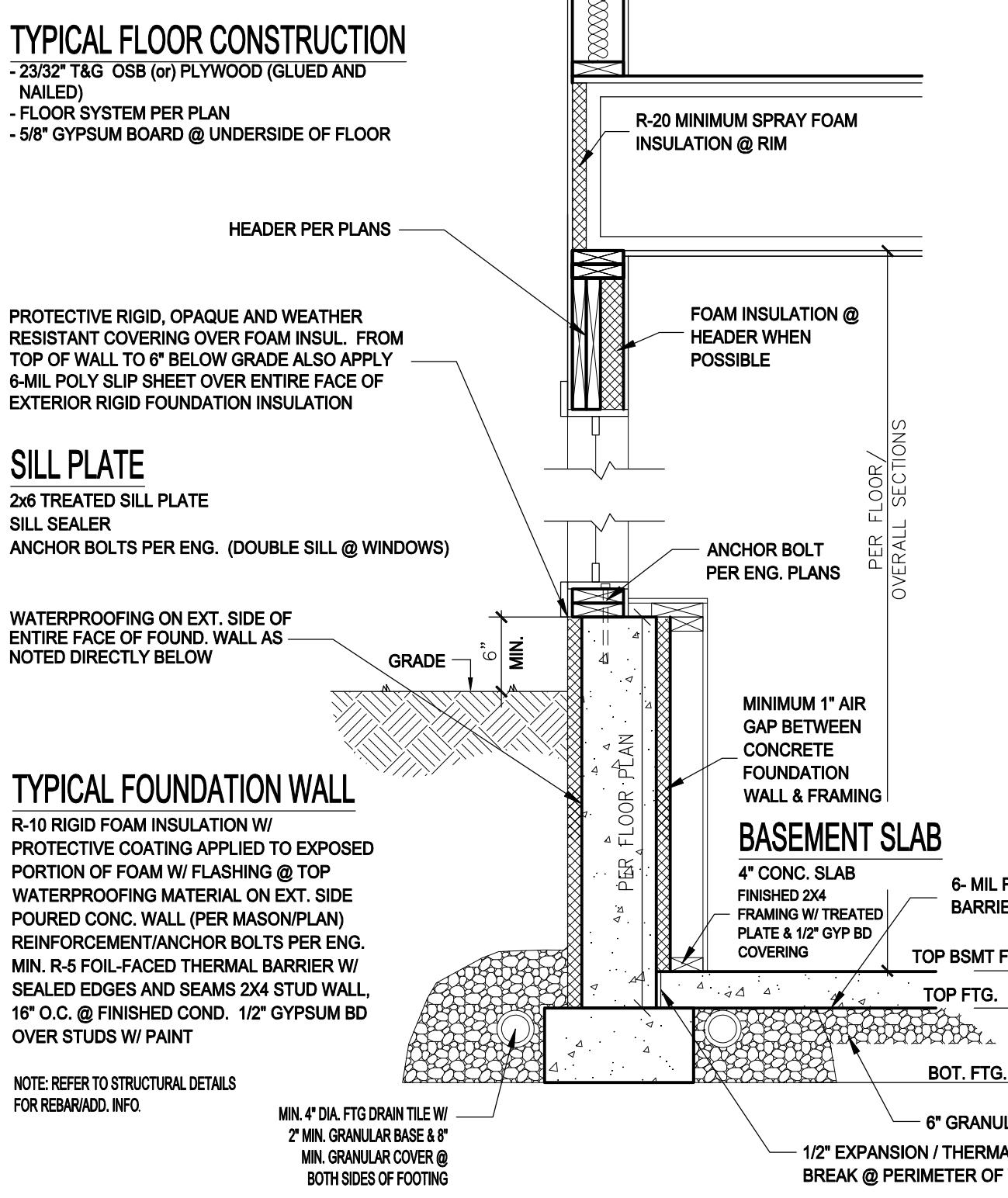
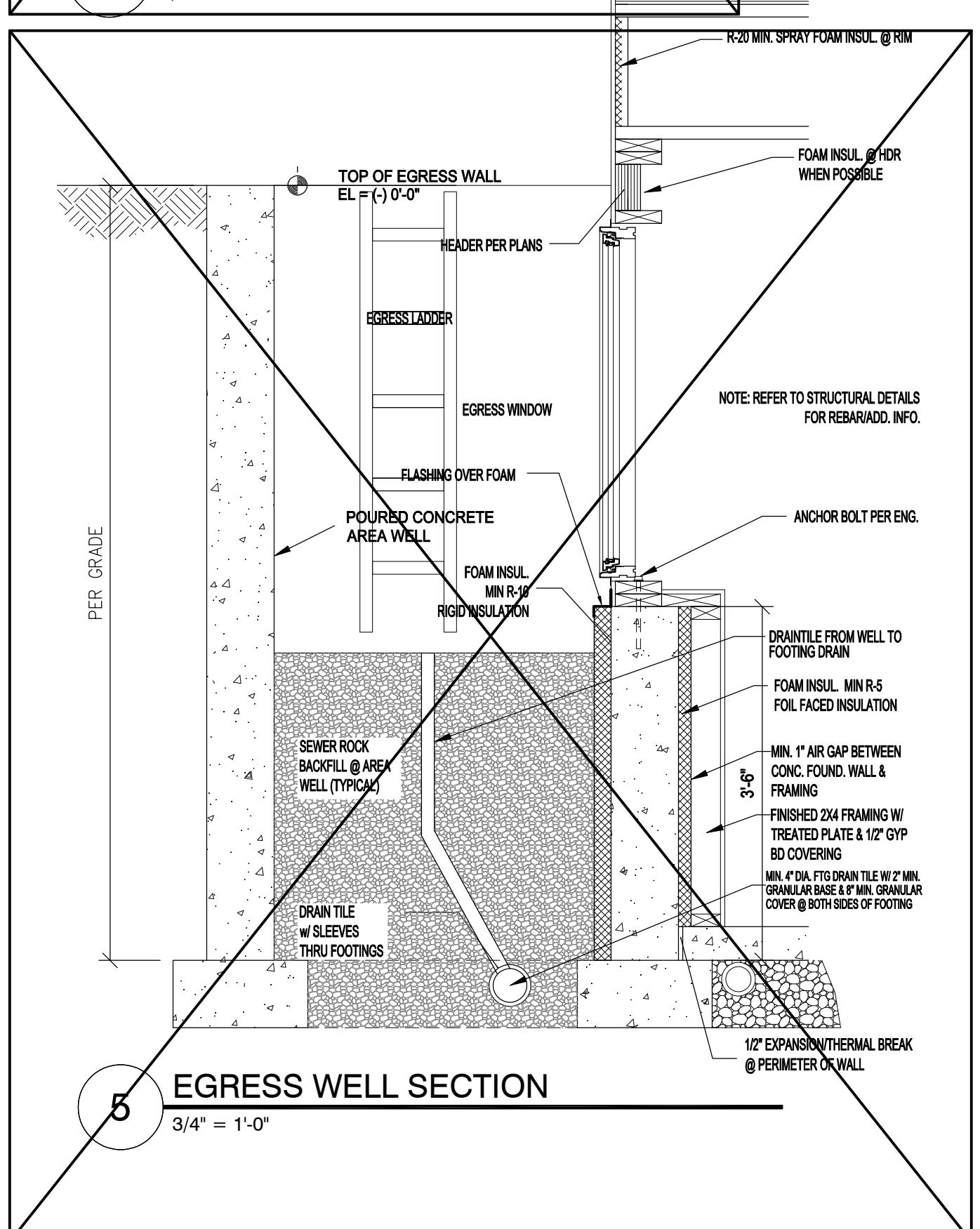
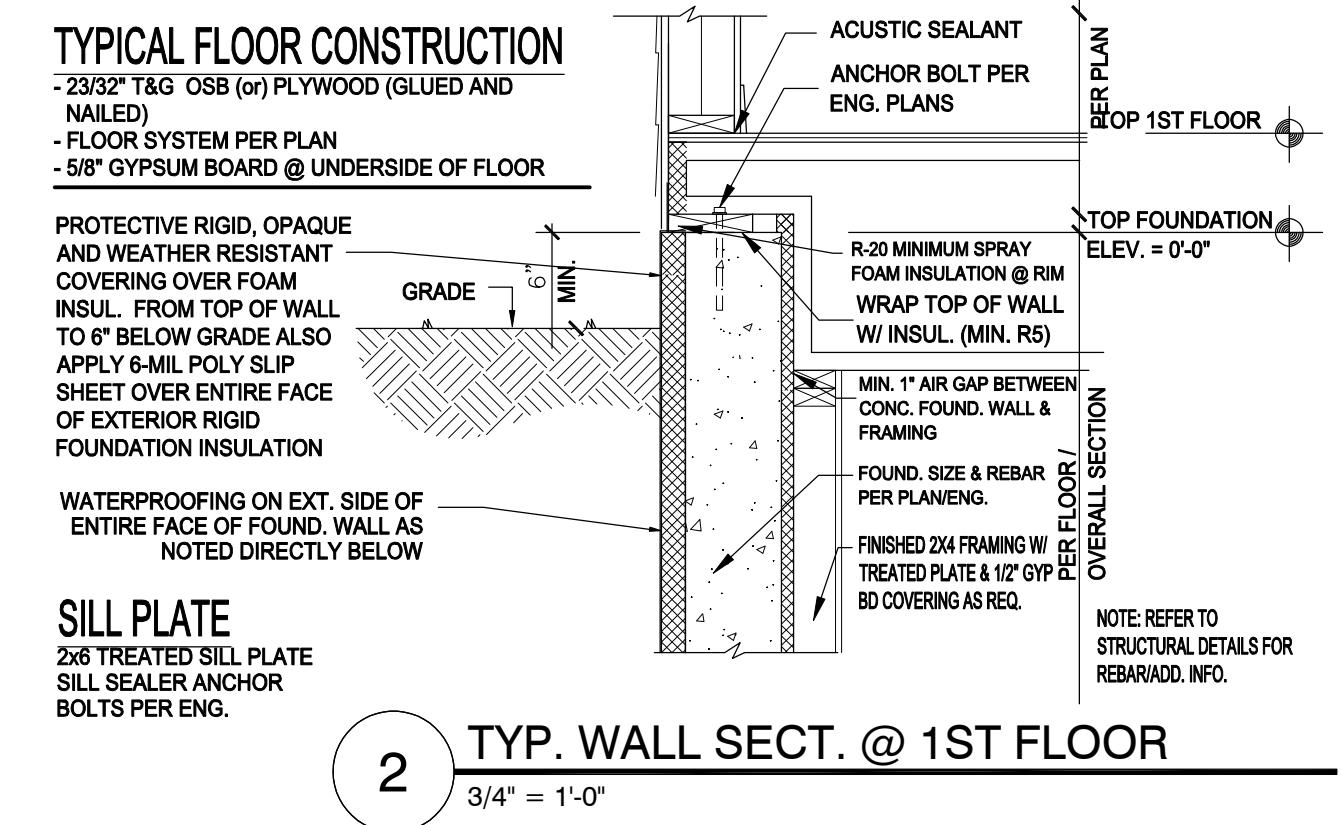
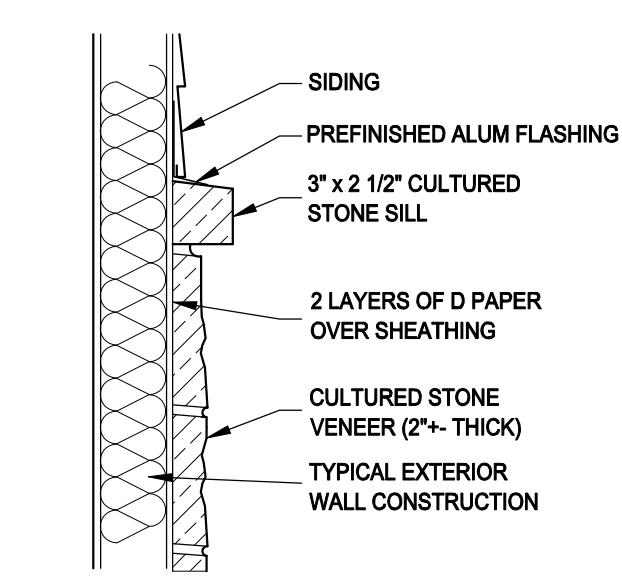
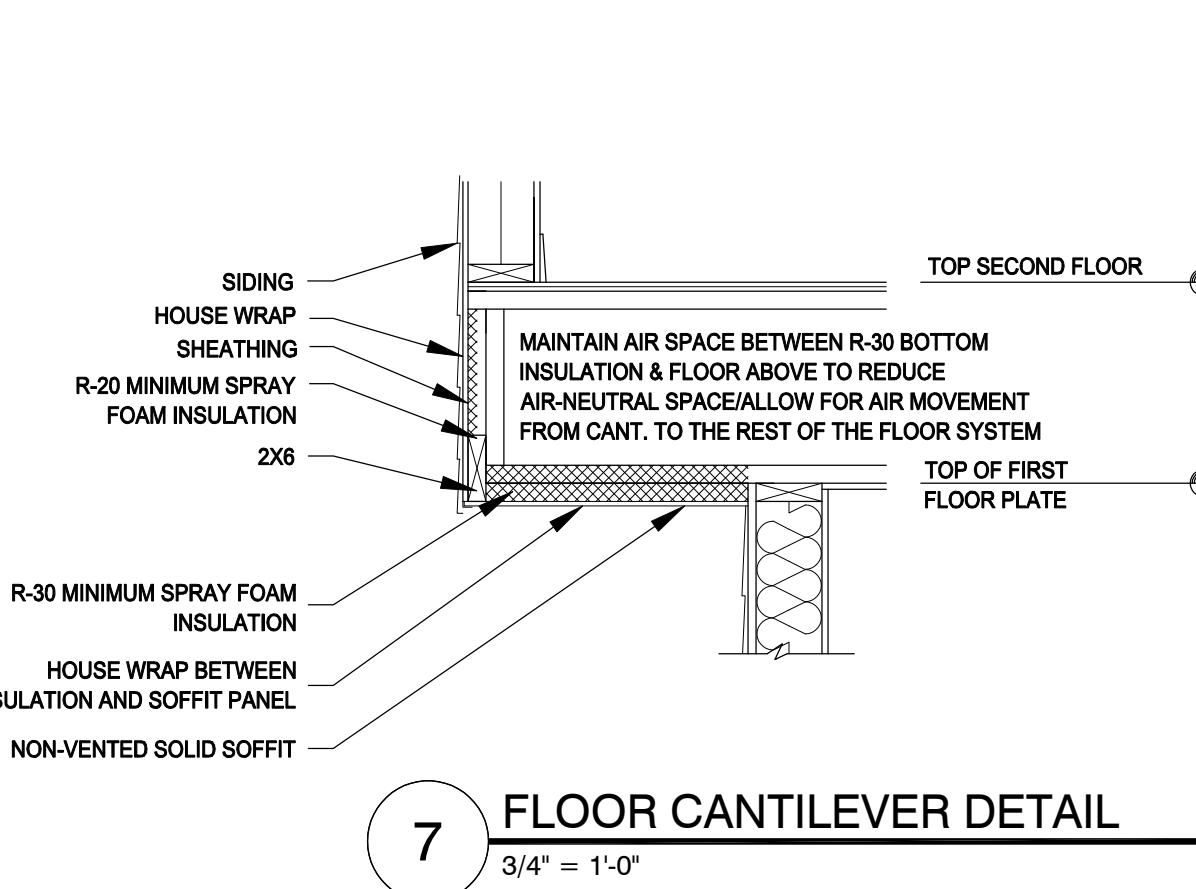
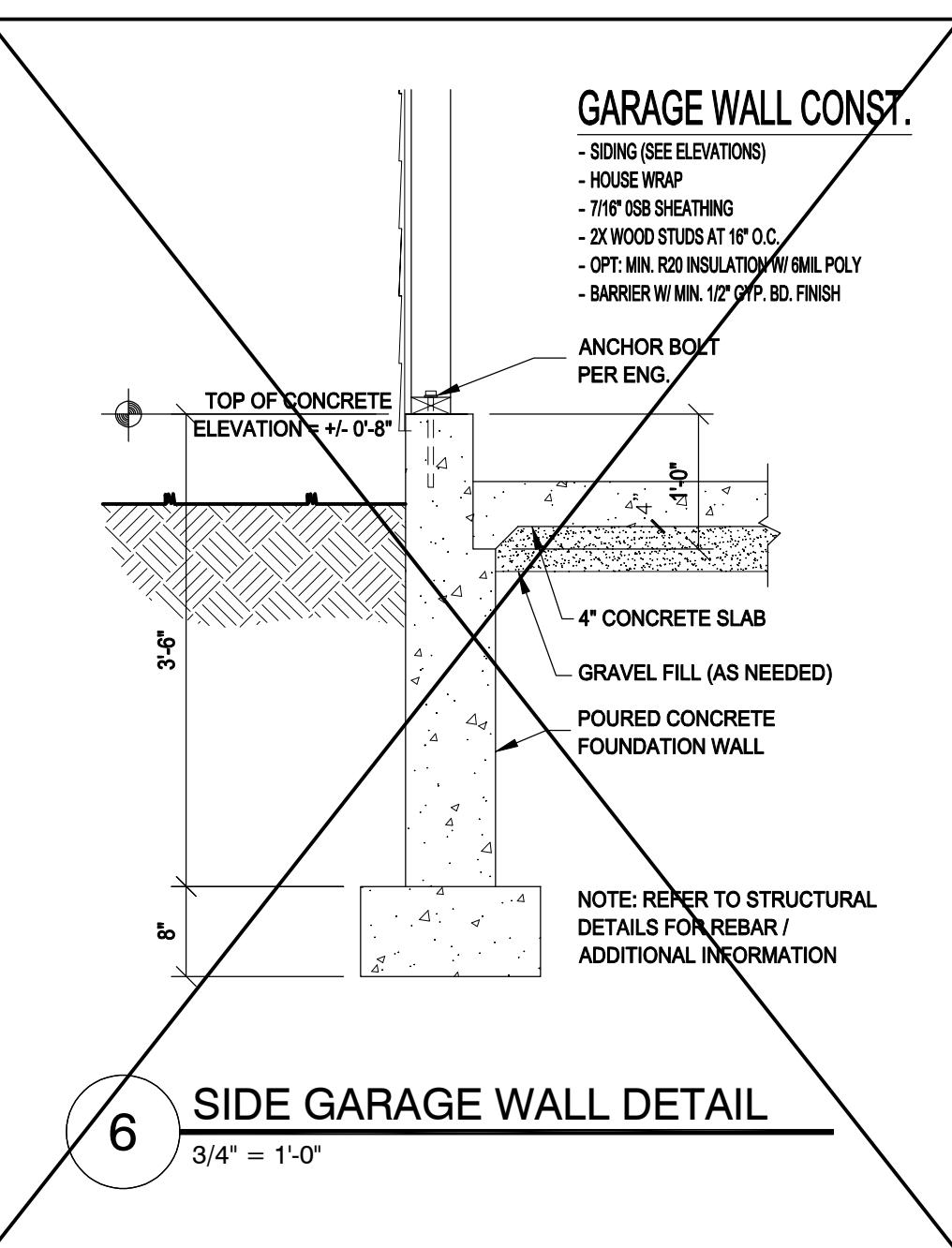
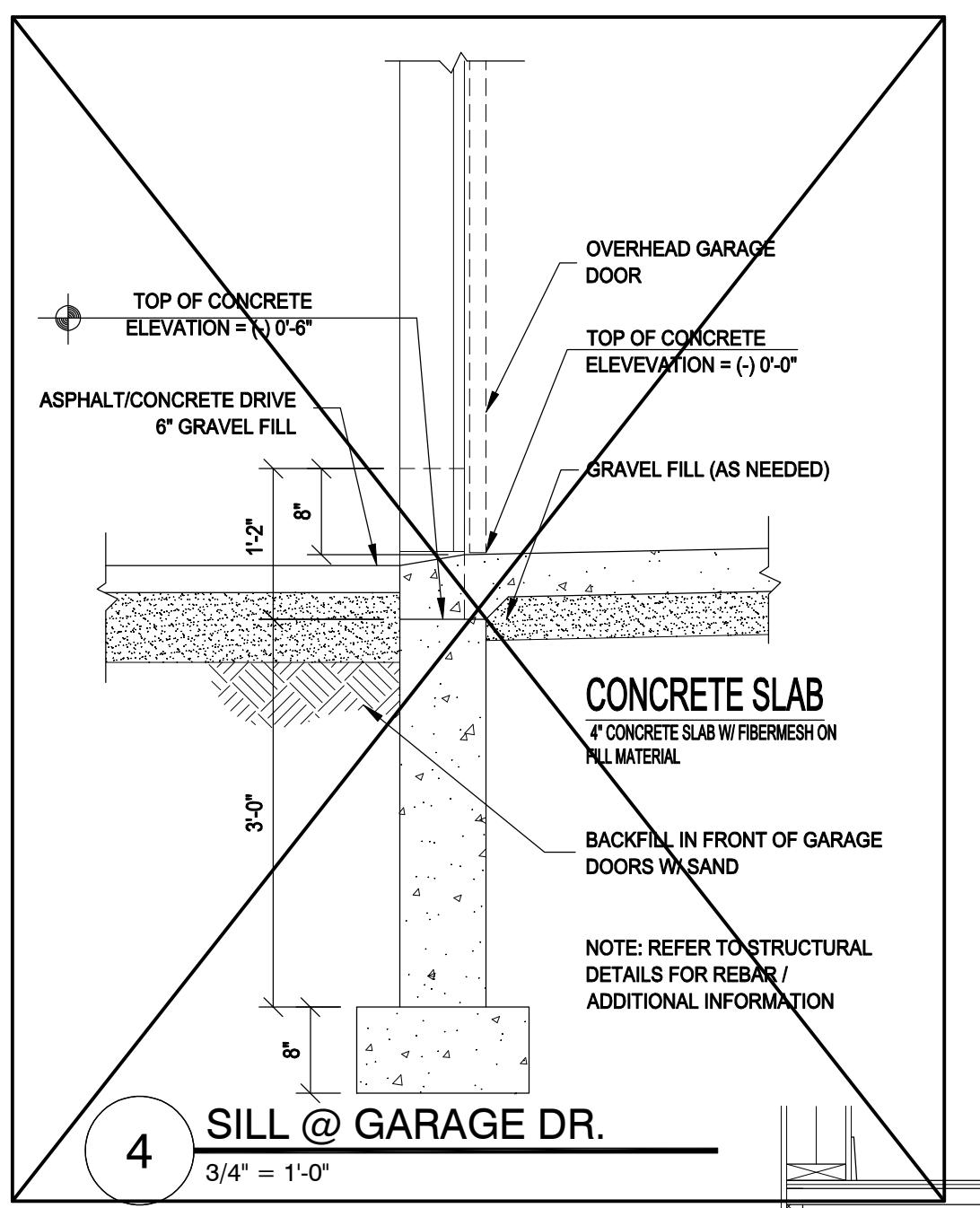
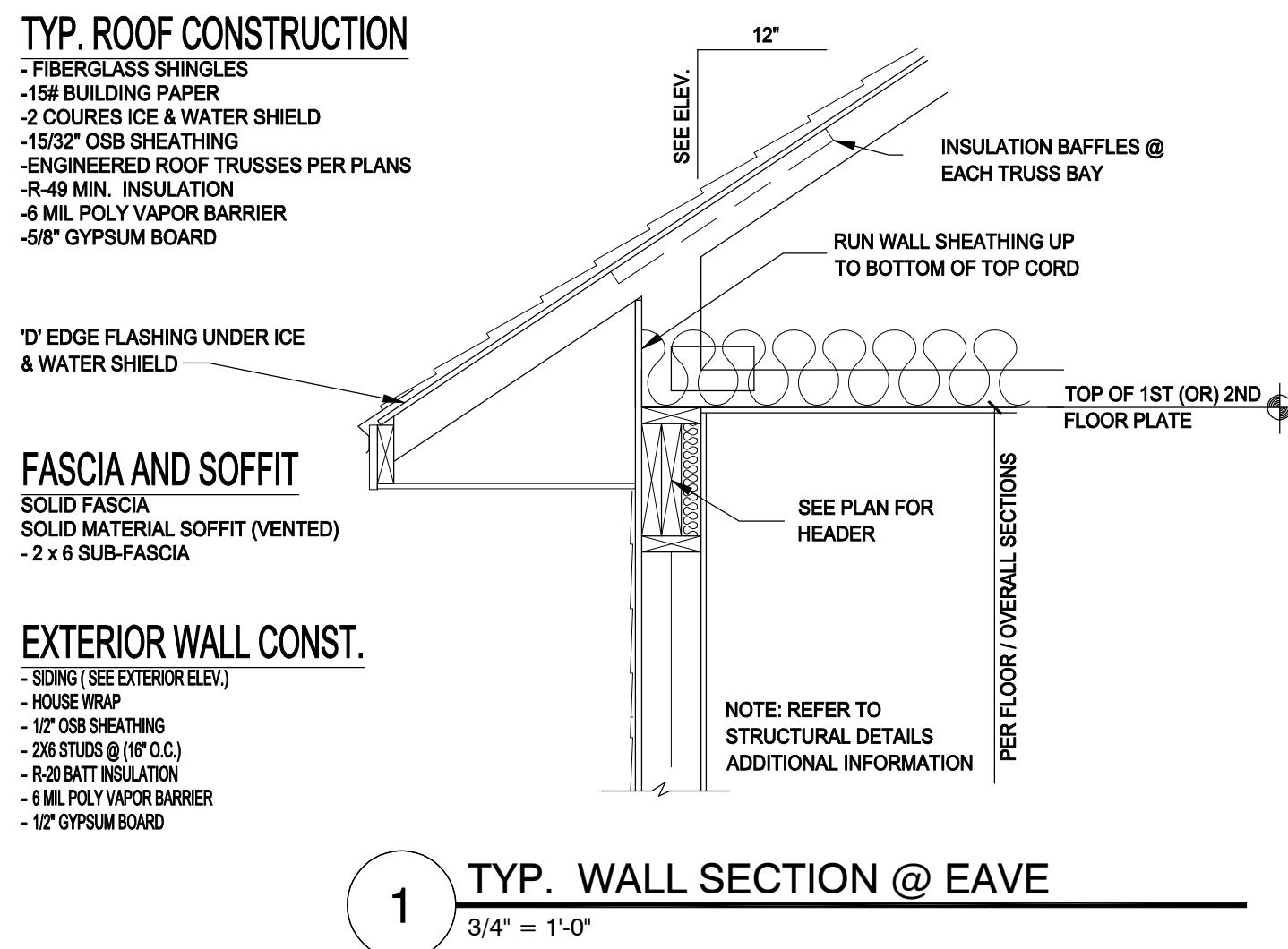


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DRAWING TITLE:

1867 HUNTER LANE

LOCATION:  
1867 HUNTER LN, MENDOTA HEIGHTS, MN

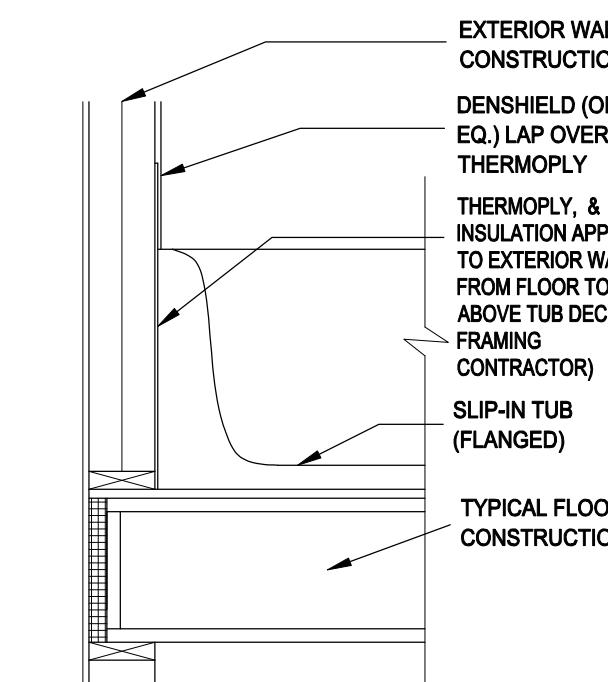
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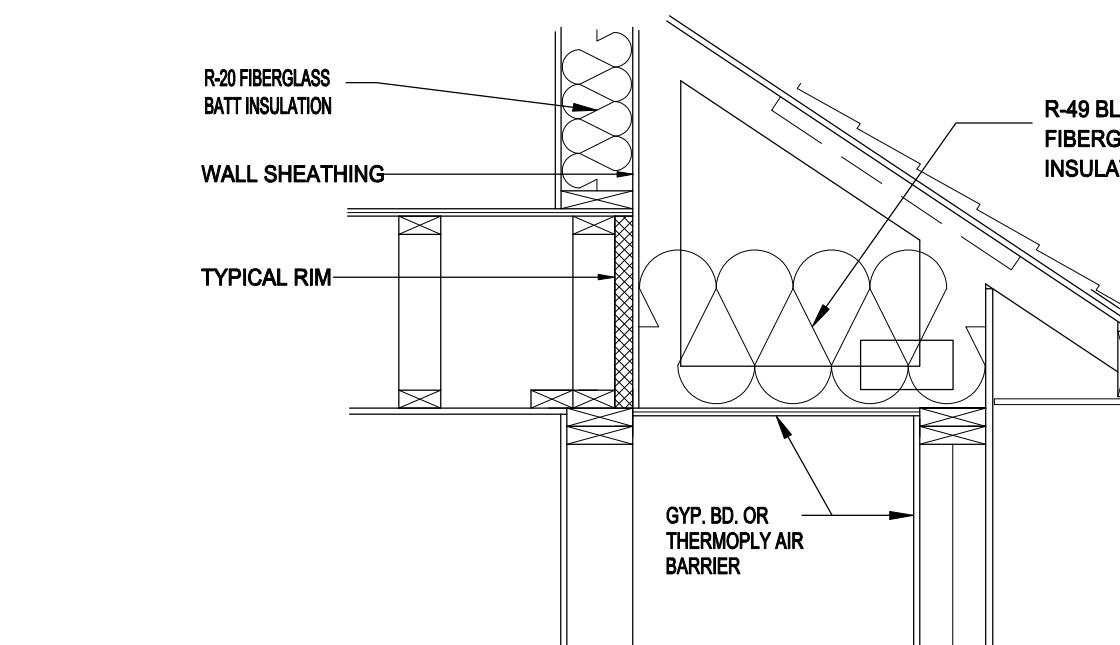
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9-5-25



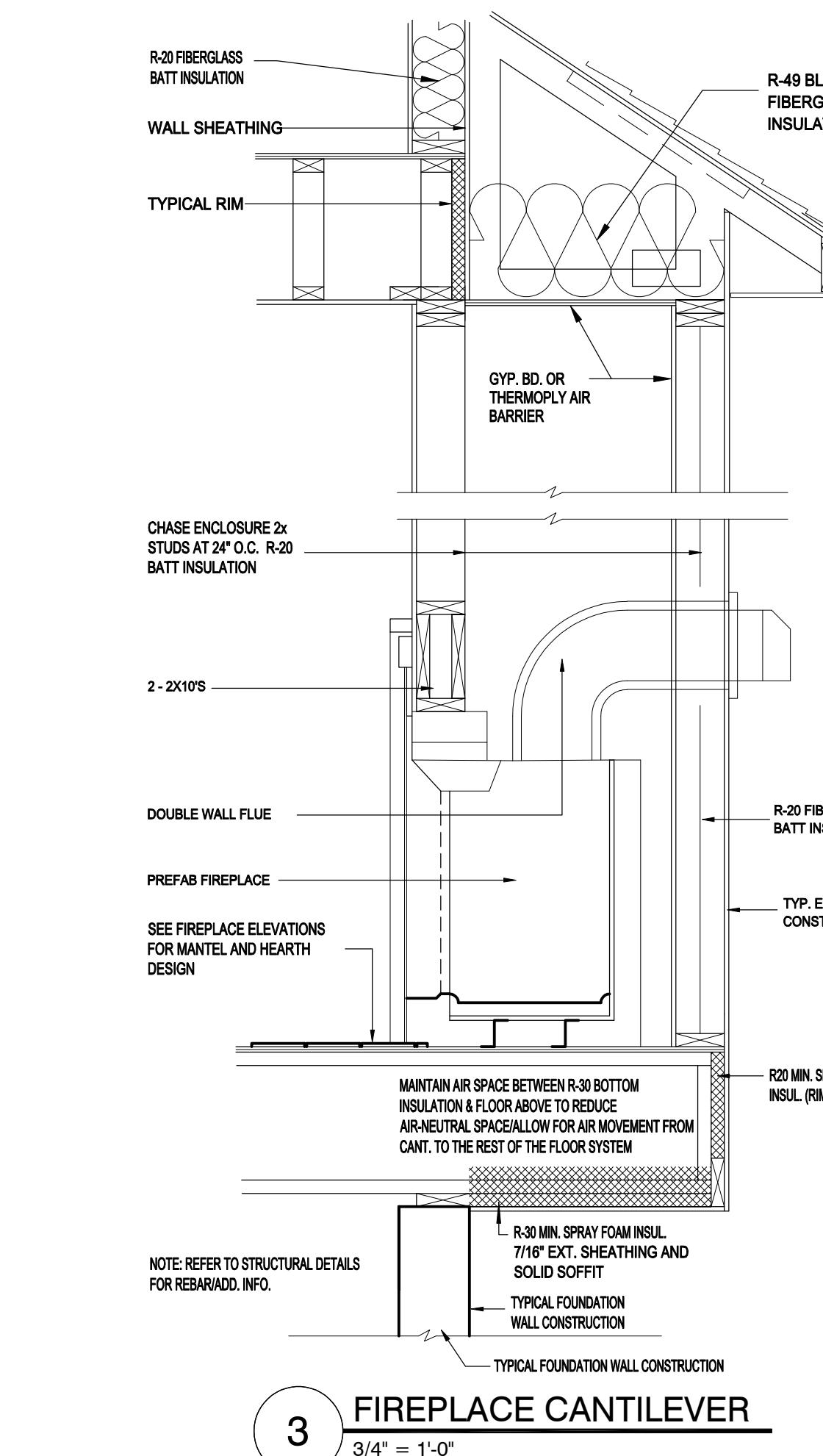
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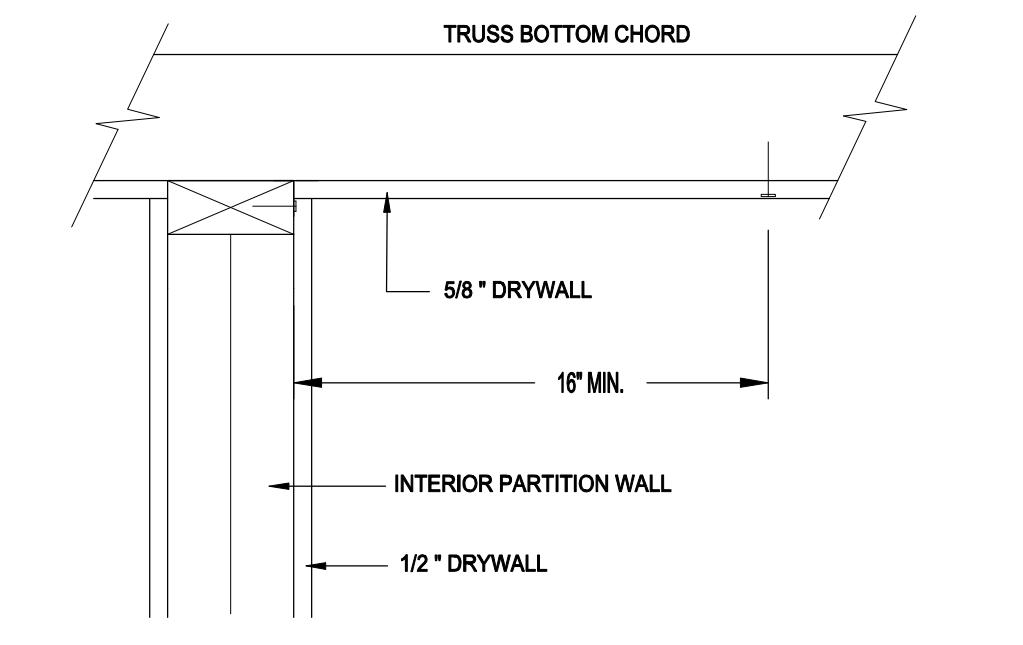
1 DRAFTSTOP @ TUB  
3/4" = 1'-0"



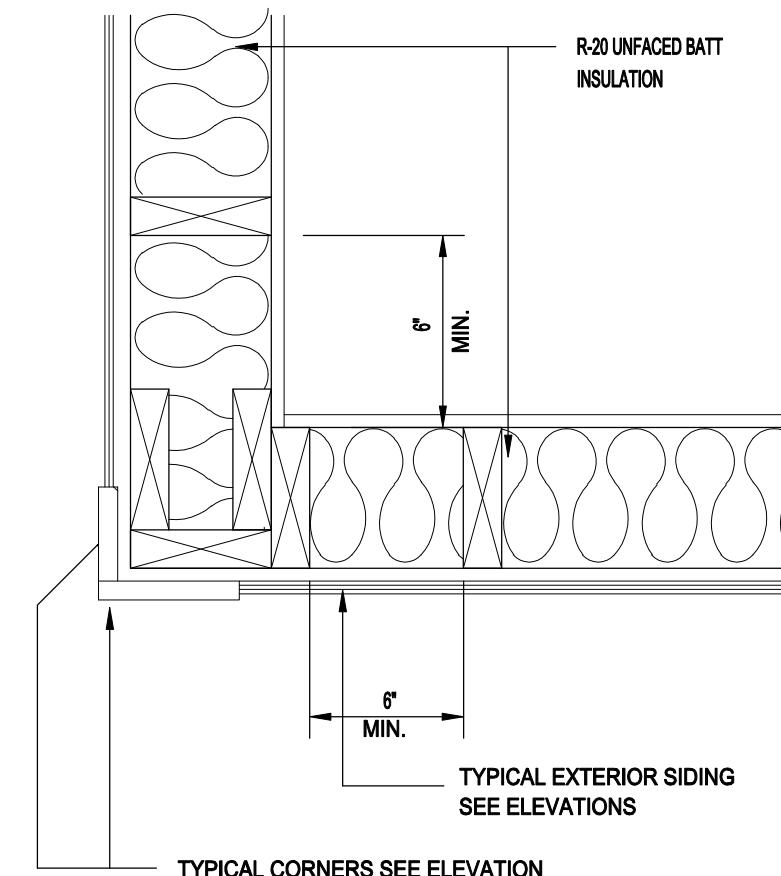
2 TUB/SHOWER 1/2 WALL  
3/4" = 1'-0"



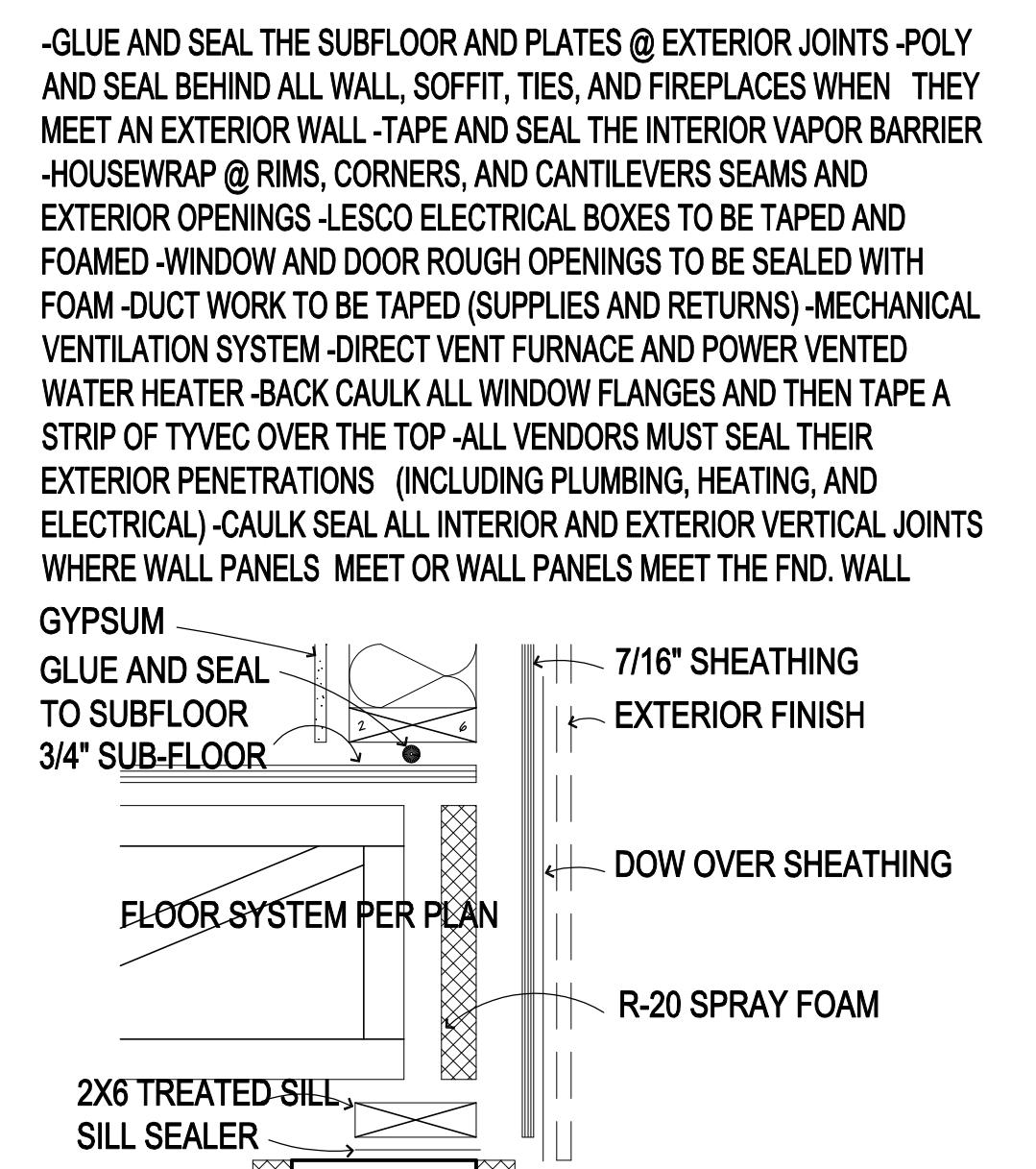
3 FIREPLACE CANTILEVER  
3/4" = 1'-0"



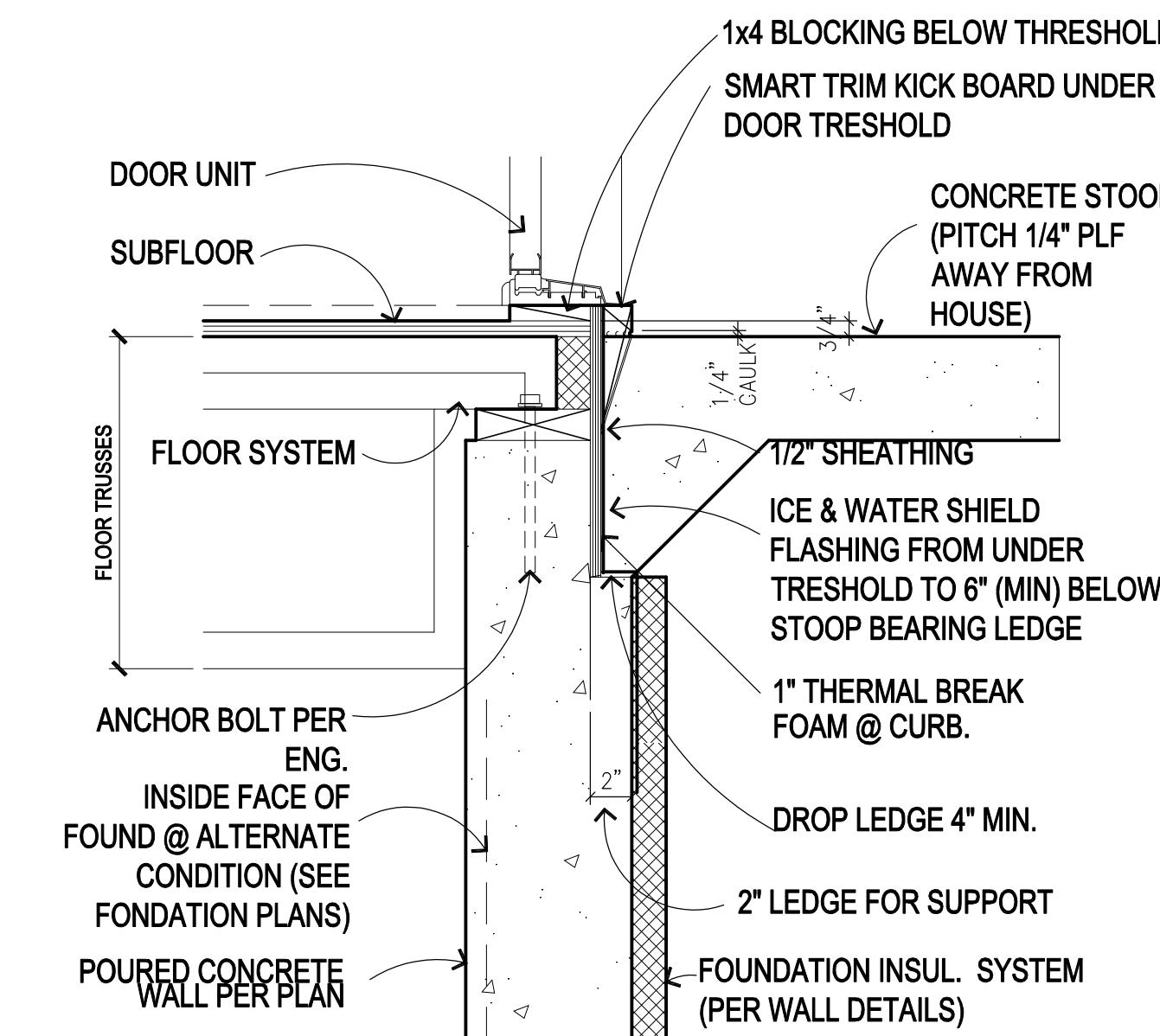
4 ROOF TRUSS CONNECTION DETAIL  
NONE



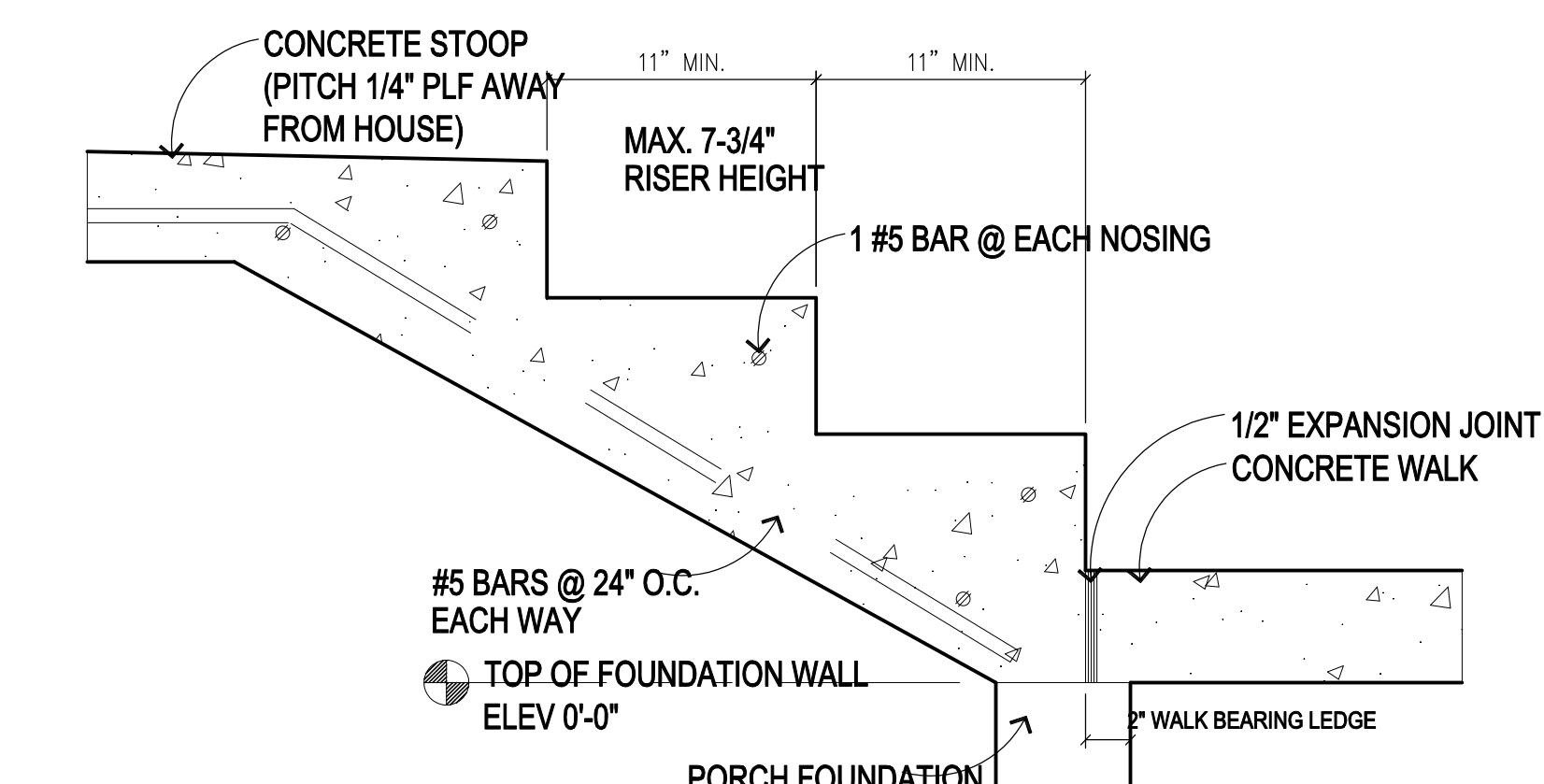
5 OUTSIDE CORNER DETAIL  
NONE



6 ENERGY CODE RIM DETAIL  
1-1/2" = 1'-0"

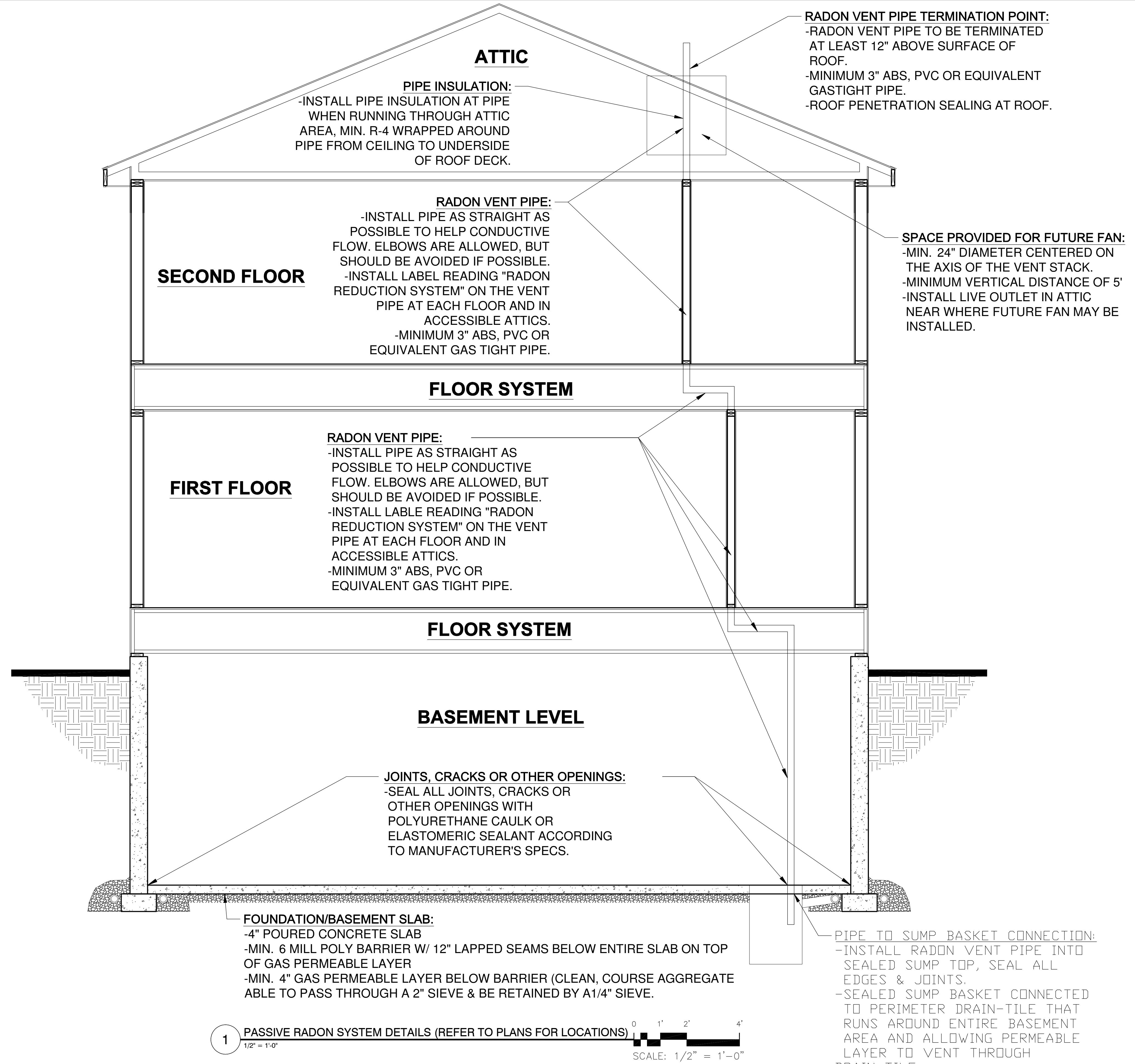


7 STOOP RIM DETAIL  
1-1/2" = 1'-0"



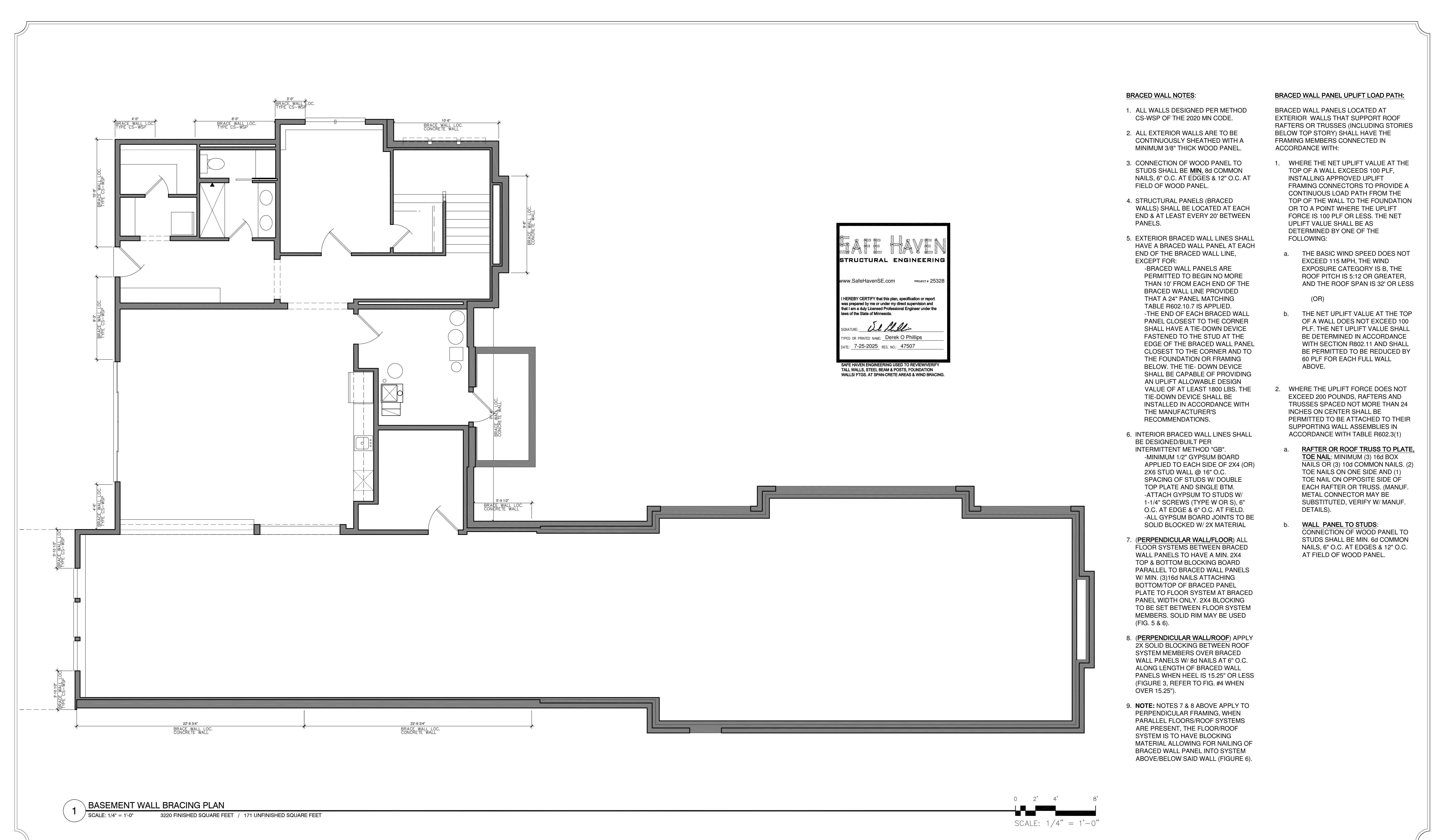
8 STOOP STEP DETAIL (as req.)  
1-1/2" = 1'-0"

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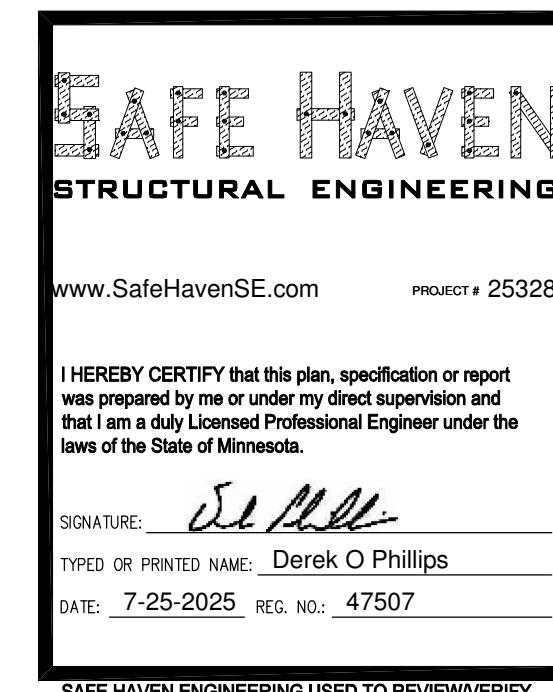
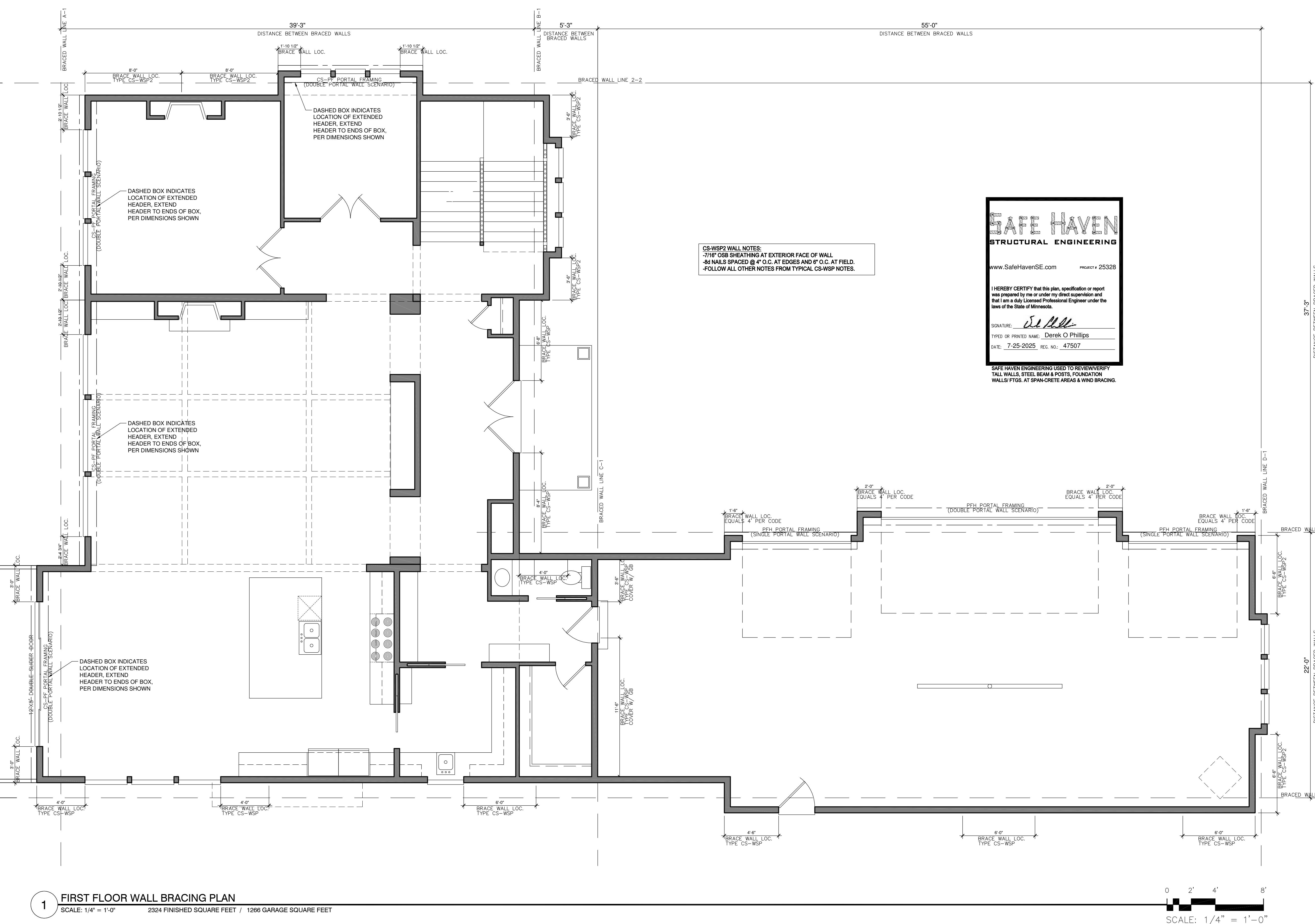


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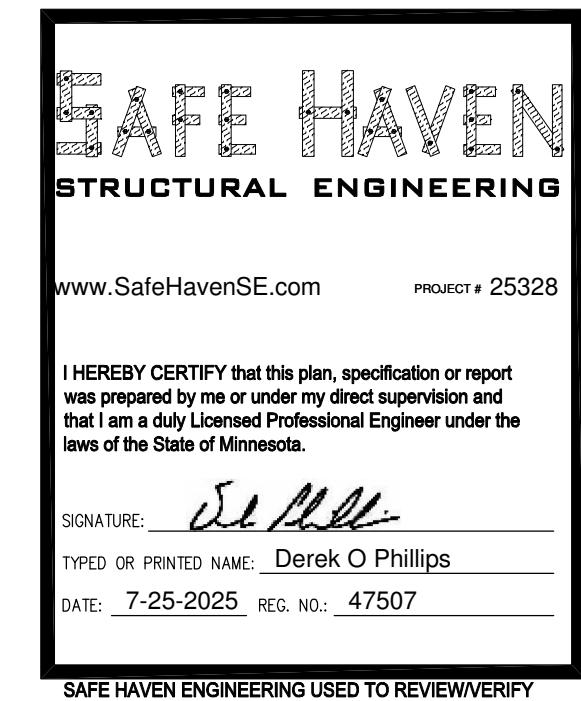
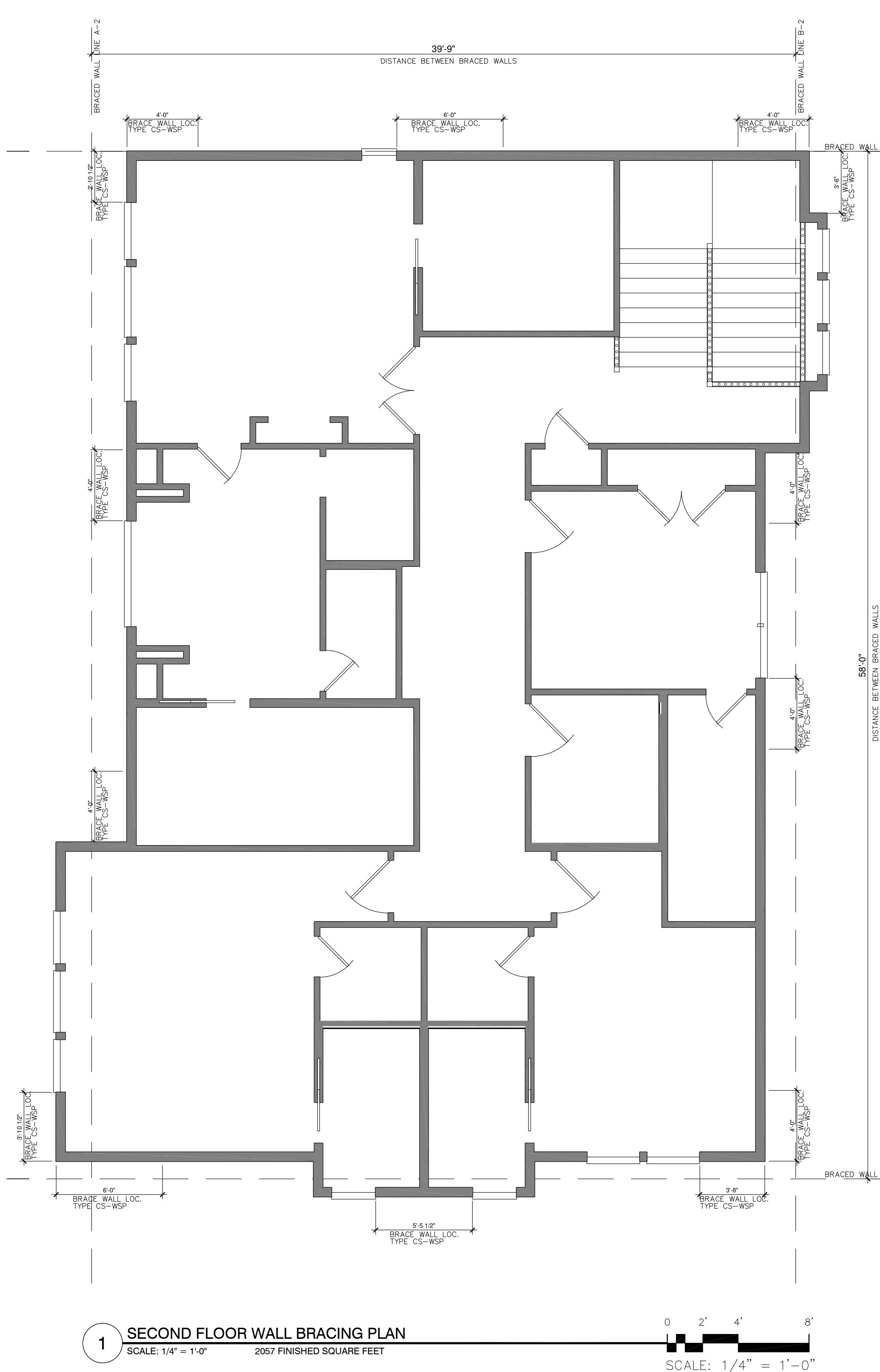


**BRACED WALL PANEL UPLIFT LOAD PATH:**

BRACED WALL PANELS LOCATED AT EXTERIOR WALLS THAT SUPPORT ROOF RAFTERS OR TRUSSES (INCLUDING STORIES BELOW TOP STORY) SHALL HAVE THE FRAMING MEMBERS CONNECTED IN ACCORDANCE WITH:

- WHERE THE NET UPLIFT VALUE AT THE TOP OF A WALL EXCEEDS 100 PLF, INSTALLING APPROVED UPLIFT FRAMING CONNECTORS TO PROVIDE A CONTINUOUS LOAD PATH FROM THE TOP OF THE WALL TO THE FOUNDATION OR TO A POINT WHERE THE UPLIFT FORCE IS 100 PLF OR LESS, THE NET UPLIFT VALUE SHALL BE AS DETERMINED BY ONE OF THE FOLLOWING:
  - THE BASIC WIND SPEED DOES NOT EXCEED 115 MPH, THE WIND EXPOSURE CATEGORY IS B, THE ROOF PITCH IS 5:12 OR GREATER, AND THE ROOF SPAN IS 32' OR LESS (OR)
  - THE NET UPLIFT VALUE AT THE TOP OF A WALL DOES NOT EXCEED 100 PLF, THE NET UPLIFT VALUE SHALL BE DETERMINED IN ACCORDANCE WITH SECTION R802.11 AND SHALL BE PERMITTED TO BE REDUCED BY 60 PLF FOR EACH FULL WALL ABOVE.
- WHERE THE UPLIFT FORCE DOES NOT EXCEED 200 POUNDS, RAFTERS AND TRUSSES SPACED NOT MORE THAN 24 INCHES ON CENTER SHALL BE PERMITTED TO BE ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES IN ACCORDANCE WITH TABLE R602.3(1)
- (RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL: MINIMUM (3) 16d BOX NAILS OR (3) 10d COMMON NAILS. (2) 2X6 STUD WALL @ 16" O.C. SPACING OF STUDS W/ DOUBLE TOP PLATE AND SINGLE BTM. - ATTACH GYPSUM TO STUDS W/ 1-1/4" SCREWS (TYPE W OR S), 6" O.C. AT EDGE & 6" O.C. AT FIELD. - ALL GYPSUM BOARD JOINTS TO BE SOLID BLOCKED W/ 2X MATERIAL)
- (WALL PANEL TO STUDS: CONNECTION OF WOOD PANEL TO STUDS SHALL BE MIN. 8d COMMON NAILS, 6" O.C. AT EDGES & 12" O.C. AT FIELD OF WOOD PANEL).
- (PERPENDICULAR WALL/FLOOR) ALL FLOOR SYSTEMS BETWEEN BRACED WALL PANELS TO HAVE A MIN. 2X4 TOP & BOTTOM BLOCKING BOARD PARALLEL TO BRACED WALL PANELS W/ MIN. (3) 16d NAILS ATTACHING BOTTOM/TOP OF BRACED PANEL PLATE TO FLOOR SYSTEM AT BRACED PANEL WIDTH ONLY. 2X4 BLOCKING TO BE SET BETWEEN FLOOR SYSTEM MEMBERS. SOLID RIM MAY BE USED (FIG. 5 & 6).
- (PERPENDICULAR WALL/ROOF) APPLY 2X SOLID BLOCKING BETWEEN ROOF SYSTEM MEMBERS OVER BRACED WALL PANELS W/ 8d NAILS AT 6" O.C. ALONG LENGTH OF BRACED WALL PANELS WHEN HEEL IS 15.25" OR LESS (FIGURE 3. REFER TO FIG. #4 WHEN OVER 15.25").
- NOTE: NOTES 7 & 8 ABOVE APPLY TO PERPENDICULAR FRAMING, WHEN PARALLEL FLOORS/ROOF SYSTEMS ARE PRESENT, THE FLOOR/ROOF SYSTEM IS TO HAVE BLOCKING MATERIAL ALLOWING FOR NAILING OF BRACED WALL PANEL INTO SYSTEM ABOVE/BELOW SAID WALL (FIGURE 6).

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REV. DATE: 2-20-25  
5-15-25  
5-21-25  
5-28-25  
7-25-25  
9-4-25  
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LOCATION: 1867 HUNTER LN, MENDOTA HEIGHTS, MN

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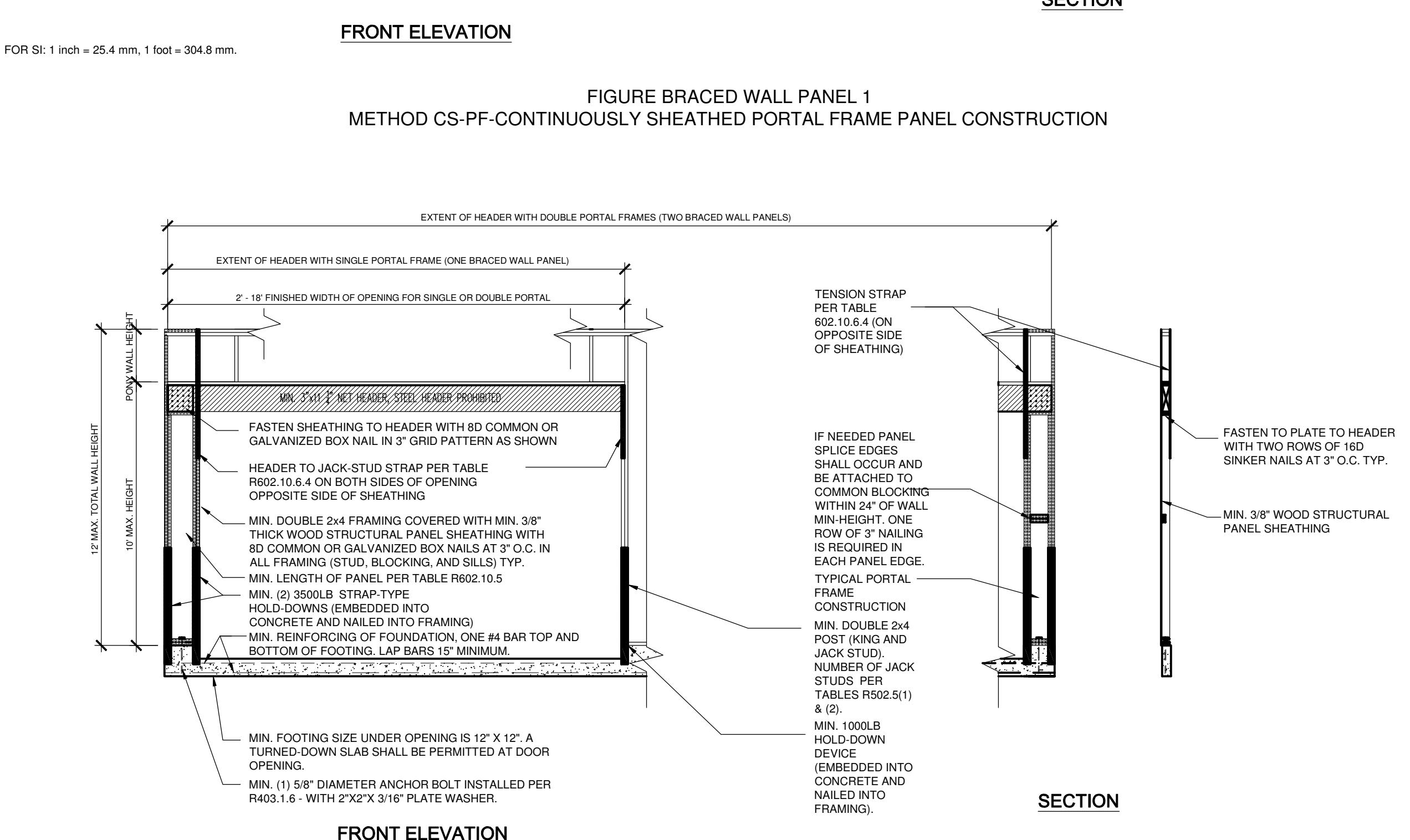
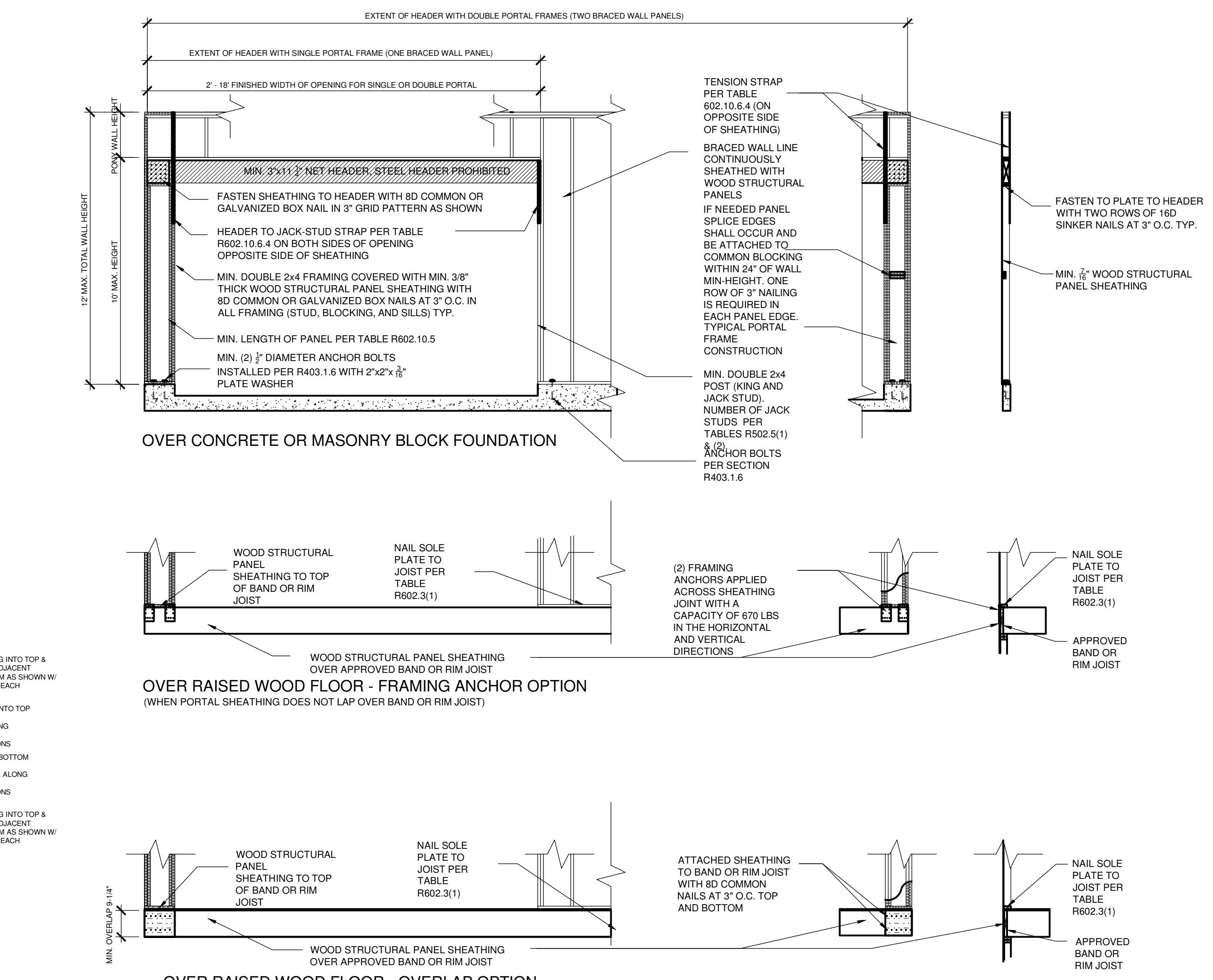
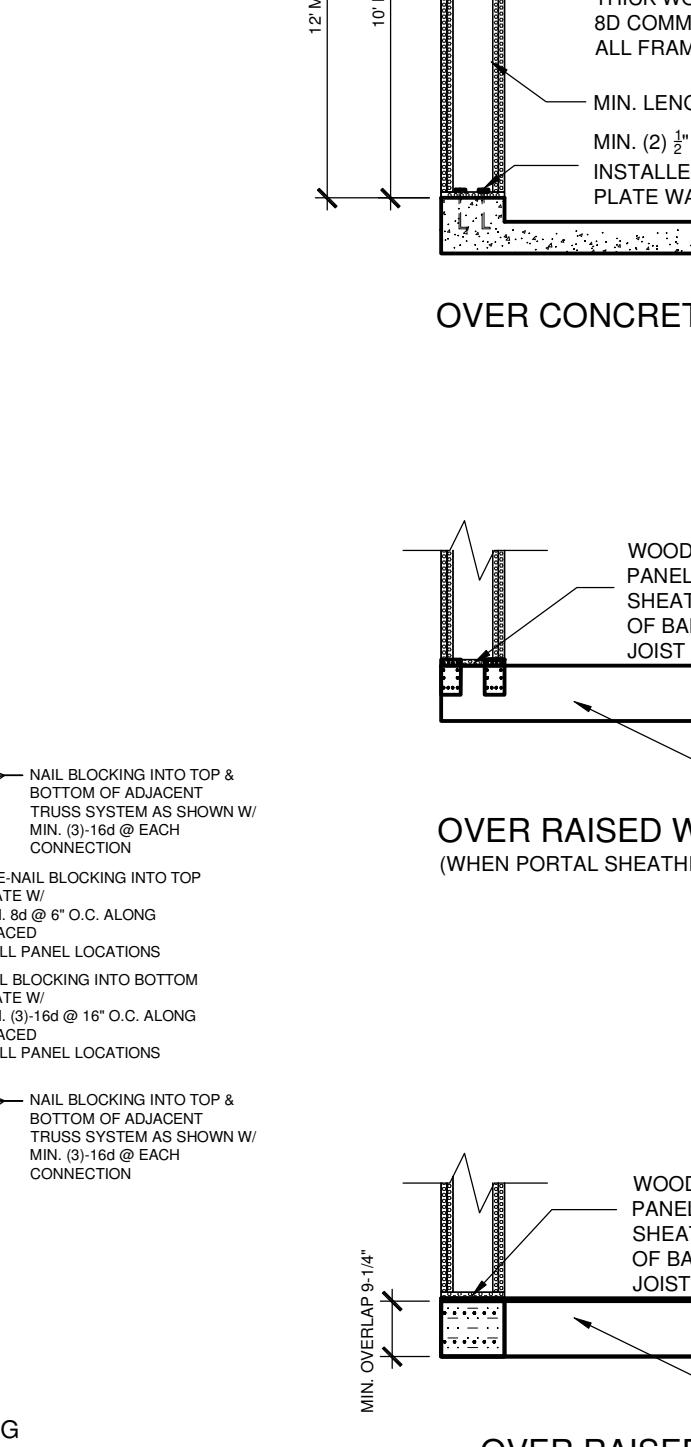
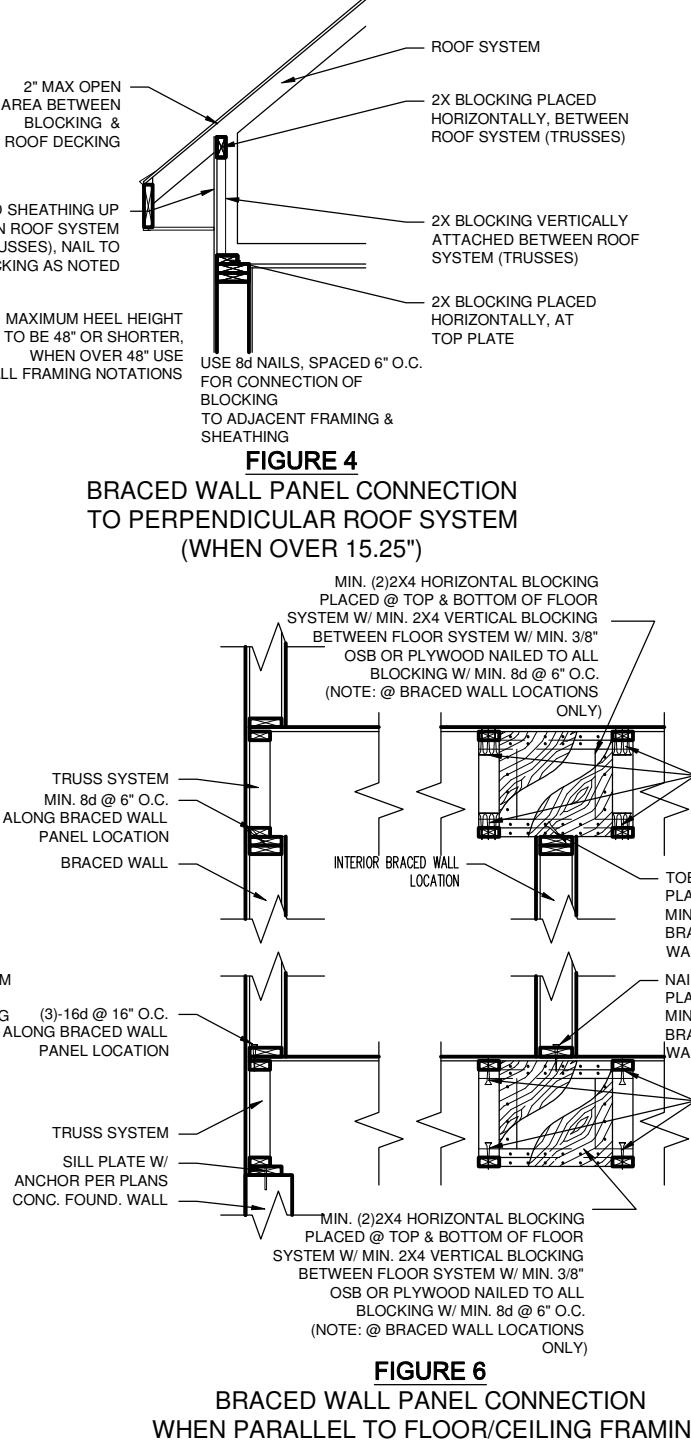
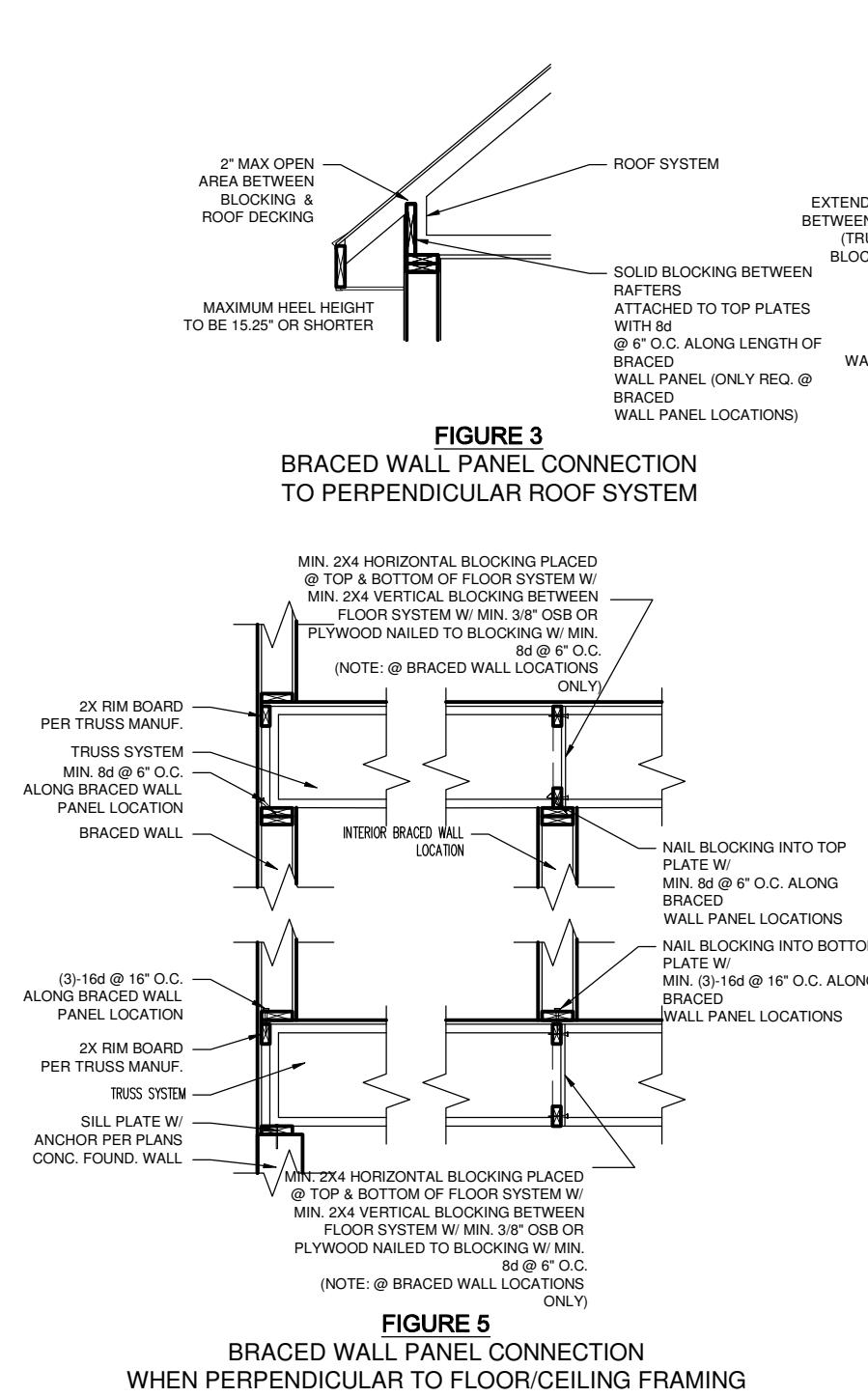


FIGURE BRACED WALL PANEL 2  
METHOD PFH-PORTAL FRAME PANEL WITH HOLD-DOWNS

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**Meeting Date:** September 25, 2025

**Agenda Item:** **Case No. 2025-18 Zoning Ordinance Amendment** Application of City of Mendota Heights for a Zoning Ordinance Amendment to incorporate minor updates relating to language, terminology, clarity, and to correct citations, cross-references and conflicting provisions.

**Department:** Community Development

**Contact:** Sarah Madden,  
Community Development  
Manager

### **Introduction:**

This item relates to amendments to the Zoning Ordinance (Title 12), as established following the Zoning Code Update project. The City of Mendota Heights approved the Zoning Code Update project in September 2024, which went into full force and effect on January 1, 2025. Following the approval of this ordinance, staff began implementing the new zoning ordinance provisions and began taking note of sections of the ordinance which contained minor errors or conflicts, or specific citations which needed clarification or minor "housekeeping" changes.

A duly noticed public hearing was published in the Pioneer Press. No public comments have been received for this proposed Ordinance Amendment, as of the date of this report. A letter received prior to the City's public noticing has been included as an attachment to this report which references residential building height, a standard which is proposed to be revised in this update. This is discussed in great detail in the "Summary of Proposed Amendments" section of this report.

### **Background:**

The proposed amendments to Title 12 – Zoning of the City Code consist of minor "clean-up" revisions aimed at improving clarity, consistency, and usability. These amendments do not alter the underlying intent or policy direction of the zoning ordinance. Instead, they correct technical errors, update outdated references, reorganize content for readability, and clarify provisions to support more effective implementation and enforcement.

These changes are part of the City's regular maintenance of the zoning ordinance to ensure it remains a clear, user-friendly, and legally consistent document for staff, applicants, and the public. Staff will continue to monitor the zoning ordinance for amendments that may be made in the future.

A redlined version of the ordinance is included for reference, indicating all proposed edits.

### **Analysis:**

#### **Summary of Proposed Amendments**

##### **Section 1. Table 12-2B-3.1: R-1 Dimensional and Lot Standards**

- Standardized language regarding impervious surface. The intent of this standard was to

have a maximum impervious surface of 35%, without an option for BMP's. In the final draft of the Zoning Code Update which was adopted, staff was directed to remove the reference to BMP's. This was removed in other sections of code, but this specific citation in this table was missed. This is a minor clean-up to remove the conflict between different sections of the ordinance.

#### *Section 2 – Table 12-3B-1.1: Permitted and Prohibited Uses*

- Added or clarified entries related to research centers, laboratories, warehousing, and off-street parking to address duplicates and correct citation references.
  - Research laboratories were listed twice, with conflicting permissions of both CUP and P listed depending on its location within the chart. These uses have been consolidated under Industrial, Transportation, & Utility Uses to note that it is permitted in B-1.
  - Warehousing and distribution was modified during the Planning Commission's final review of the ordinance to allow as a CUP, but the use-specific citation for warehouse uses was not included in the chart. It is added here to direct applicants to the additional requirements.
  - Off-Street Parking was listed as a Conditional Use in all zoning districts, and the use-specific citation directed to an area of code which does not exist. Off-Street Parking (parking lots, driveways, garages, etc.) are intended to be an Accessory Permit Use in all zoning districts, subject to individual use standards. The citation and listed use are both proposed to be corrected.

#### *Section 3 – Relocation of Alternative Energy Systems Regulations*

- Moved Alternative Energy Systems from Chapter 3, Section 5.B.1 to a newly created Section 12-4A-12 for as these standards apply to all zoning districts, and not just industrial districts.
  - This section lists standards for Solar Energy Systems which apply to all zoning districts; staff is suggesting it be relocated out of the Industrial-specific section to provide clarity.

#### *Section 4 – Section 12-4A-4 Wetland Requirements*

- Clarified Citations which reference Title 15: Environmental Standards

#### *Section 5 - Section 12-4A-5: Landscaping Requirements*

- Clarified standards and citation to reference Title 15, Chapter 3: Urban Forest Preservation ordinance requirements

#### *Section 6 - Section 12-4A-11: Off Street Parking and Loading*

- Corrected Title 6 Citation

#### *Section 7 – Section 12-4A-11: Signs*

- Corrected listed Zoning District from B-2 to B-1
  - This is a typographical error proposed to be corrected.

#### *Section 8 – Section 12-4B-2: Roof Pitch Standards for Residential Structures*

- Set maximum roof pitch for residential buildings to 12:12.
- Introduced exceptions for subordinate architectural roof elements such as dormers and porches.
  - This topic was discussed at the City Council Work Session on 9/16/25. City Council was provided information by staff and by local developers and home-builders that the maximum pitch standard was not suitable for modern construction standards. The developers also expressed a need for clarity on primary roof structures versus secondary or ornamental roof structures as they do not contribute to overall height. Through discussion, staff was directed to include this increase in the maximum pitch and the clarity to roof structures as part of the upcoming housekeeping amendments.

#### *Section 9 – Section 12-5B-8: Planned Unit Development*

- Clarified that it is a City Council's discretionary action in adjusting PUD densities consistent with the Comprehensive Plan.
  - This sentence was in direct conflict with the City's Comprehensive Plan, and with earlier language in this same Chapter regarding density increases or decreases. Staff has reviewed this item with the City Attorney and the recommendation is to remove this sentence for consistency with the Comprehensive Plan language relating to the use of Planned Unit Developments to increase or lower density beyond the underlying zoning district.

#### *Section 10 – Chapter 8: Definitions*

- Revised the definition of "Comprehensive Plan" for clarity and updated language in the definition of a "thoroughfare".
  - This street type is no longer the official term used, and is not reflective of the City's Comprehensive Plan. Future definition modifications are anticipated as the City continues to review the Subdivision Ordinance for code updates.

#### **Alternatives:**

The proposed ordinance amendment is to Title 12-Zoning, which requires the Planning Commission to provide a review under a public hearing process and provide a recommendation to the City Council. The Planning Commission may consider one of the three following actions:

1. Recommend approval of the draft Ordinance No. 596 which amends certain sections of Zoning Code Title 12 – Zoning, as presented herein; or
2. Recommend approval or denial of the requested zoning code amendments in whole or in part; or with added/revised language and standards deemed necessary by the commission; or

3. Table the amendment request, and direct city staff to provide additional information for further consideration by the Planning Commission and present this information at the next scheduled Planning Commission meeting.

**Staff Recommendation:**

Staff recommends that the Planning Commission recommend approval of the proposed amendments to City Code Title 12 – Zoning as outlined in Sections 1 through 10 of the redlined [draft] ordinance attached to this report.

These amendments are intended to improve the clarity, internal consistency, and usability of the zoning ordinance without changing the underlying regulatory intent or development standards. The proposed edits are administrative in nature and serve to correct technical errors, update references, clarify existing language, and improve the structure and readability of various sections of the code.

Staff finds that the proposed changes are consistent with the goals and policies of the City's Comprehensive Plan and support the ongoing maintenance of a clear and enforceable zoning ordinance.

**Attachments:**

1. Zoning Ordinance Amendment - Ord 603 - Redline 9/19/25
2. Letter of Concern from Housing First Minnesota

**CITY OF MENDOTA HEIGHTS**  
**DAKOTA COUNTY, MINNESOTA**  
**ORDINANCE NO. 603**

**AMENDING TITLE 12: ZONING, TO INCORPORATE MINOR UPDATES RELATING TO LANGUAGE, TERMINOLOGY, CLARITY, AND TO CORRECT CITATIONS, CROSS-REFERENCES AND CONFLICTING PROVISIONS.**

The City Council of the City of Mendota Heights does ordain:

**Section 1. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 2B: BASE ZONING DISTRICTS, Table 12-2B-3.1 R-1 Dimensional and Lot Standards as follows:**

<b>Lot Dimensions</b>		
A	Lot Size (minimum)	15,000 square feet
B	Lot Width (minimum)	100 feet
Principal Building Standards		
C	Front Yard Setback	
	Newly Created Lot (new plat) – Minimum Existing Lot of Record (infill) - Minimum	30 feet See Section [ <a href="#">12-4A-3.D.2.</a> ]
	Newly Created Lot (new plat) – Maximum Existing Lot of Record (infill) - Maximum	40 feet See Section [ <a href="#">12-4A-3. D.2.</a> ]
D	Side Yard Setback (minimum)	10 feet interior lot line 30 feet abutting a street
E	Rear Yard Setback (minimum)	30 feet
	Height (maximum)	25 feet <a href="#">See Section [12-4A-7. C.]</a>
Accessory Structure Standards		
Private Garages		
	Number (maximum)	One (1) detached or one (1) attached garage per lot; see [ <a href="#">Section 12-4A-8.D.2</a> ] for Exception for Two Private Garages on a Lot.
	Size (maximum)	
	If Attached Private Garage	1,200 square feet 1,201 - 1,500 square feet with CUP

	If Detached Private Garage	750 square feet 751 - 1,000 square feet with CUP
	Size of Exception for Two Private Garages	Up to 2,400 square feet based on lot size, see Section [ <a href="#">12-4A-8.D.2.</a> ]
	Front Yard Setback (attached)	Minimum Front Yard Setback of Principal Building
F	Front Yard Setback (detached)	Behind Principal Building front facade
	Side and Rear Yard Setbacks (minimum)	Corner lots must meet Principal Building side yard setback
H	144 to 2,000 square feet	10 feet
	Over 2,000 square feet	15 feet
	Height (Maximum)	May not exceed height of Principal Building
	144 to 2,000 square feet	15 feet, 1.5 stories
	2,000 to 2,400 Square Feet	18 feet, 1.5 stories
I	Setback from Principal Building	5 feet
	Garage Doors	
	Width (maximum measured horizontally)	36 linear feet as viewed from the public right-of-way
	Height (maximum)	9 feet, up to 12 feet with Conditional Use Permit
Storage Building		
	Number (maximum)	One (1); See [Section <a href="#">12-4A-8.E.a.iii.</a> ] for Exception for two Storage Buildings if Chicken Coop/Run.
	Size	144 square feet for one (1) Storage Building; maximum of 225 square feet of combined Storage Building and Chick Coop/Run.
	Front Yard Setback (minimum)	Behind Principal Building front facade
G	Side and Rear Yard Setbacks (minimum)	5 feet
	Height (maximum)	10 feet, 1 story
Accessory Structure (not meeting definition of Building)		

	Setbacks	Must meet all Accessory Building yard setbacks
	Size	No limit; must meet impervious surface requirements for all combined improvements.
Other Standards		
	Impervious Surface Coverage (maximum)	35%, <del>or up to 50% with approved Best Management Practiees (BMPs)</del>

**Section 2. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 3: ALLOWED USES, Article B: PERMITTED AND PROHIBITED USES, Table 12-3B-1.1 as follows:**

#### COMMERCIAL/BUSINESS USES

Land Use	RE	R-1	R-2	R-3	MU	B-1	B-2	I	Use Specific Section
<del>Research center and laboratories</del>						<del>P</del>			

#### INDUSTRIAL, TRANSPORTATION & UTILITY USES

Land Use	RE	R-1	R-2	R-3	MU	B-1	B-2	I	Use Specific Section
Scientific research, investigation, testing and experimentation, including laboratories					CUP	<del>CUP</del> <u>P</u>		P	
Warehousing and distribution, not abutting a Residential Base Zoning District						CUP		P	<u>12-3B-5 B.6</u>

#### ACCESSORY USES

Land Use	RE	R-1	R-2	R-3	MU	B-1	B-2	I	Use Specific Section
Off Street Parking	<del>CUP</del> <u>AP</u>	<u>12-4A-7 B.6</u> <u>12-4A-9</u>							

**Section 3. City Code Title 12 – ZONING is hereby amended by removing and relocating Chapter 3: ALLOWED USES, Article B: PERMITTED AND PROHIBITED USES, Chapter 5: INDUSTRIAL, TRANSPORTATION AND UTILITY USE SPECIFIC REGULATIONS, Section B.1: Alternative Energy Systems in its entirety to- 12-4A-12 ALTERNATIVE ENERGY SYSTEMS.**

**Section 4. Section 4. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 4: BUILDING, CHARACTER, AND**

**DESIGN STANDARDS, Article A: GENERAL PROVISIONS APPLICABLE TO ALL ZONING DISTRICTS, Section 4: Wetland Requirements as follows:**

A. Purpose. The requirements established herein are intended to support the regulations and requirements established in Title 15~~12~~ Environmental Standards, Chapter 4: Wetland Conservation of the City Code and to comply with the State of Minnesota Wetland Conservation Act (WCA) rules. The City will:

1. Reference the City's wetland inventory and the National Wetland Inventory, to determine whether a wetland may be present on a property that is the subject of a Land Use Development Application.
2. Coordinate wetland requirements with the Floodplain and Shoreland Protection regulations as established in Title 15~~12~~ Environmental Standards.

B.2. Wetlands shall be located and identified according to the standards established in Title 15~~12~~ Environmental Standards, Chapter 4: Wetland Conservation.

C.3. The lowest ground floor elevation must be a minimum of two feet (2') above the 100-year flood elevation, or a minimum of three feet (3') above the Ordinary High Water Mark of public waters, as regulated by Title 15~~12~~ Environmental Standards.

C.10. Any swimming pools, patios, decks, drive aisles, parking lots, etc., must be setback a minimum of five feet (5') from any required buffer area, whichever is greater, unless otherwise permitted by Title 15~~12~~ Environmental Standards.

D. Buffer Requirements.

1. The vegetation requirements for all required Buffer Areas are established in Title 15, Chapter 4: Wetland Conservation, Section [15-4-6]., Environmental Standards.

**Section 5. Section 4. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 4: BUILDING, CHARACTER, AND DESIGN STANDARDS, Article A: GENERAL PROVISIONS APPLICABLE TO ALL ZONING DISTRICTS, Section 5: Landscaping Requirements as follows:**

4. As many existing native and non-invasive trees as is practicable must be preserved and must be shown on the Site Plan. All Significant or Heritage Trees scheduled for removal must be identified on the Site Plan. Removal of Significant or Heritage trees beyond the thresholds established in Title 15, Chapter 3: Urban Forest Preservation will require compliance with all requirements as defined and listed in Sections 15-3-5 and 15-3-6. A Significant Tree is defined in Title 15. Environmental Standards.

**Section 6. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 4: BUILDING, CHARACTER, AND DESIGN STANDARDS, Article A: GENERAL PROVISIONS APPLICABLE TO ALL ZONING DISTRICTS, Section 9: Off-Street Parking and Loading as follows:**

(3) No Semitrailer, Truck Tractor, or a combination thereof, or any Custom Service Vehicle as defined in Title ~~X6~~, Section [6-1-2] of the City Code, or any truck in excess of 9,000 pounds gross vehicle weight may be parked within a Residential Base Zoning District except for the purpose of loading, unloading, or

in the process of making a delivery.

**Section 7. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 4: BUILDING, CHARACTER, AND DESIGN STANDARDS, Article A: GENERAL PROVISIONS APPLICABLE TO ALL ZONING DISTRICTS, Section 11: Signs as follows:**

c. The maximum gross area of any surface of a pylon or monument sign in the [B-2] Zoning District is 80 square feet; and the maximum gross area of any surface in the ~~B-2B-1~~ or I Zoning District is 100 square feet.

**Section 8. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 4: BUILDING, CHARACTER, AND DESIGN STANDARDS, Article B STANDARDS APPLICABLE TO RESIDENTIAL DISTRICTS (RE, R-1, R-2 AND R-3), Section 2: SINGLE-FAMILY DETACHED AND ATTACHED BUILDING REQUIREMENTS as follows:**

e. Pitch of Roofs. With the exception of earth sheltered homes, all residential structures must have a pitched roof of at least 3:12 and a maximum of ~~9:12-12:12~~.

(1) Exception. A two-story home may have a roof that is less than 3:12, or a flat roof.

(2) Secondary roofs, including but not limited to dormers, porches, awnings, cupolas, or other clearly subordinate architectural elements, may exceed the maximum pitch provided they:

(A) Are clearly ornamental or accessory in nature;

(B) Do not result in an increase to the building height beyond the permitted maximum;

(C) Are not used to increase habitable floor area above what is otherwise permitted

**Section 9. City Code Title 12 – ZONING is hereby amended by adding the underlined and removing the strikethrough language to modify Chapter 5: ADMINISTRATION AND CONFORMANCE, Article B: COMMON STANDARDS OF LAND USE APPLICATIONS, Section 8: PLANNED UNIT DEVELOPMENT as follows:**

3. Number of Dwelling Units.

a. In a residential Planned Unit Development, the number of dwelling units proposed for the entire site shall not exceed the total number permitted by the Base Zoning District(s) and the Comprehensive Plan in which the land is located. If the residential Planned Unit Development is in more than one Base Zoning District, the number of allowable dwelling units must be calculated separately for each portion of the Planned Unit Development that is in a separate Zoning District and must then be combined to determine the number of dwelling units allowable in the entire Planned Unit Development. The density of individual uses in the MU-PUD District may be guided by the standard established by the Base Zoning District for each use. The City Council shall have the authority to determine the allowed density based on the quality and components of the Planned Unit Development. Said density may be lesser or greater than that prescribed by the Base Zoning District(s) at the discretion of the City Council, ~~but in all cases must comply with the density ranges established in the Comprehensive Plan.~~

**Section 10. City Code Title 12 – ZONING is hereby amended by adding the underlined to modify Chapter 8: RULES AND DEFINITIONS, ARTICLE B: DEFINITIONS OF ZONING CHAPTERS 1, 2, 3, 4, 5 AND 7 OF THIS TITLE**

COMPREHENSIVE PLAN: ~~Unless otherwise stated, it is the general plan for land use, transportation and community facilities prepared and maintained by the Planning Commission and approved by the City Council. The comprehensive plan of the city and all policy statements, goals, standards, maps, charts and explanatory materials thereto which guide the land use development of the city, as adopted by the city council.~~

STREET, THOROUGHFARE (MAJOR PRINCIPAL OR MINOR ARTERIAL) THOROUGHFARE: A street which serves or is designed to serve heavy flows of traffic and which is used primarily as a route for traffic between communities and/or other heavy traffic generating areas.

**Section 11. Effective date.**

This ordinance shall be effective immediately following adoption and publication according to law.

**ADOPTED** this 7<sup>th</sup> day of October, 2025 by the City Council for the City of Mendota Heights.

**CITY COUNCIL  
CITY OF MENDOTA HEIGHTS**

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**Stephanie B. Levine, Mayor**

ATTEST:

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Nancy Bauer, City Clerk



**City of Mendota Heights**

**Mayor Levine and City Council; Sarah Madden, Community Development Manager  
1101 Victoria Curve  
Mendota Heights, MN 55118**

**Re: Concerns Over Stricter Local Building Requirements**

Dear Mayor Levine and Councilmembers,

On behalf of Housing First Minnesota, I am writing to express strong concerns regarding provisions in the Mendota Heights City Code that appear to establish building requirements stricter than those set forth in the Minnesota State Building Code (MSBC).

The MSBC exists to provide a uniform, statewide standard for construction practices—supporting predictability for builders, protecting homeowners, and advancing housing affordability. When municipalities impose additional requirements—such as:

- §12-4B-2(e): Requiring all residential structures to have pitched roofs between 3:12 and 9:12, despite MSBC provisions allowing lower slopes depending on materials;
- §12-4A-7: Setting height restrictions for infill development that function more like construction mandates than zoning standards; the Minnesota State Legislature has raised concerns with the practice of “buying approvals” through the discretionary review system in recent years.

they create questionable legal conflicts with state authority and add unnecessary cost and complexity.

Our concerns are direct and urgent:

1. **Housing Affordability:** Extra construction mandates drive up housing costs without improving safety or durability. In a time of housing shortage, these local rules restrict design flexibility and make new homes less attainable.
2. **Questionable Legal Conflict:** While cities hold zoning authority, provisions that blur the line between aesthetics and construction standards risk conflicting with state building authority.



3. Loss of Uniformity: The MSBC is designed to be consistent across Minnesota. Local deviations undermine that goal and create confusion for builders and homeowners.

Housing First Minnesota urges the City of Mendota Heights to review these ordinances and align them more closely with the spirit of statewide uniformity. Without such action, these rules will continue to create barriers to affordability and invite avoidable disputes.

Our industry is committed to providing safe, affordable, high-quality homes across Minnesota. We ask the City to work with us to ensure its ordinances do not go beyond their intended scope, especially in ways that add unnecessary cost and restrict housing options.

Sincerely,



Mark Foster  
Vice President of Legislative & Political Affairs  
Housing First Minnesota

